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NCARB PDD – Questions With Complete Solutions

The role of a specifier? Right Ans - 1. determine the responsibility for structural specs with structure engineer;
2. coordinating standardized keynotes lists to be used on all drawings with the architect;
3. obtain a preferred general condition document from the client through the architect;
4. recommending everyone to use BIM;

What are included in the preliminary studies? Right Ans - 1. allowable height;
2. allowable area and occupant allowance;
3. fire rating requirements;

Percolation rate is used to determine what? Right Ans - To determine whether porous pavement should be used.

Forest Steward Council (FSC) Right Ans - Harvesting tree without violating people's right.

Under what condition can you put storage under stair? Right Ans - If it's protected with a minimum of 1-hour rated construction.

Where should the fire extinguisher cabinet (FEC) located? Right Ans - 48" - 60" AFF, no more than 4" extrusion.

Tear-out, Pull-through Right Ans - Tear-out: shear failure in a bolted connection due to tension at hole;
Pull-through: a compression failure where bolts pull through the holes.

ANSI, ASTM Right Ans - ANSI: American National Standard Institute;
ASTM: American Society for Testing Material, it's used for testing materials.

Composition of cement Right Ans - Limestone, clay, iron ore, gypsum

Subsystem estimate is used in which phases of design? Right Ans - SD and DD. Subsystem estimates deal with a project's functional units and it enables

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NCARB PDD Exam Syllabus Topics:

Topic	Details
Topic 1	<ul style="list-style-type: none">Integration of Building Materials & Systems: This section of the exam measures the skills of Architectural Designers and focuses on the ability to resolve and integrate various building systems into cohesive project goals. It covers analyzing architectural systems and technologies, determining the size of structural, mechanical, electrical, and plumbing systems, and incorporating specialty systems such as acoustics, lighting, security, and communications. It also evaluates the ability to detail how multiple building systems work together and to coordinate across disciplines to achieve a unified design.

Topic 2	<ul style="list-style-type: none"> • Construction Documentation: This section of the exam measures skills of Project Architects and addresses the creation and management of project documentation. Candidates are expected to demonstrate knowledge of documenting building design and site features, preparing detailed architectural drawings, and applying industry standards to produce a coordinated set of construction documents. The section also includes understanding how project changes impact documentation and how to communicate these updates effectively to both the design team and the client.:
Topic 3	<ul style="list-style-type: none"> • Construction Cost: This section of the exam measures the skills of Construction Managers and focuses on the financial side of project execution. It evaluates the ability to analyze construction cost estimates to confirm that they align with project design intent and budgetary constraints. Although this is the smallest section, it is critical for ensuring projects remain feasible and economically viable.
Topic 4	<ul style="list-style-type: none"> • Project Manual & Specifications: This section of the exam measures the skills of Specifications Writers and emphasizes the importance of developing documentation that goes beyond drawings. Candidates must understand how to identify and prioritize elements needed to prepare, maintain, and refine both the project manual and project specifications. It also assesses the ability to align and coordinate these specifications with the construction documents to ensure consistency and accuracy.
Topic 5	<ul style="list-style-type: none"> • Codes & Regulations: This section of the exam measures skills of Building Code Specialists and examines how codes and regulations apply at a detailed level during documentation. Candidates are expected to demonstrate knowledge of compliance with the International Building Code (IBC) as well as other specialty regulations, as well as how to interpret and apply these standards to ensure design and documentation meet legal and safety requirements.

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NCARB ARE 5.0 Project Development and Documentation Exam Sample Questions (Q27-Q32):

NEW QUESTION # 27

In which of the following locations in concrete masonry should a control joint be placed?

- A. In the center of window openings
- B. At the first course of masonry walls
- C. At each corner of the foundation wall
- **D. At changes in wall height**

Answer: D

Explanation:

Control joints in concrete masonry walls are designed to accommodate movement caused by thermal expansion, moisture changes, and settlement.

Control joints should be placed at locations of stress concentration, such as changes in wall height, changes in wall thickness, or at large wall expanses.

They are not placed at the first course of masonry (which is typically reinforced and anchored to the foundation).

They are generally not placed at window corners or in the center of window openings but rather at planned intervals or changes in geometry.

Placing a control joint at changes in wall height allows movement without cracking.

References:

NCARB ARE 5.0 Review Manual, Materials and Assemblies chapter

Masonry design and control joint placement per ASTM standards

Masonry construction manuals (e.g., NCMA TEK)

NEW QUESTION # 28

Which document is the most appropriate location for specifying the finish material for casework?

- A. Construction Drawings
- **B. Project Manual - Division 06**
- C. Outline Specifications
- D. General Conditions

Answer: B

Explanation:

Division 06 (Wood, Plastics, and Composites) of the Project Manual contains detailed specifications for finish carpentry and casework materials. This aligns with ARE Objective 2.1: Evaluate project manual sections for technical accuracy.

NEW QUESTION # 29

The building permit plan review for a small, two-story residential project with a crawlspace issues the following comment to the architect:

"No under floor access shown in plans. Please locate and note locations of under floor access." Site conditions will not allow access to the crawlspace from the exterior.

What drawing will the architect need to update to satisfy the reviewer's comment?

- **A. Main Floor Framing Plan**
- B. Second Floor Framing Plan
- C. Foundation Plan

Answer: A

Explanation:

Understanding the Reviewer's Comment

- * The under-floor access refers to an access opening to the crawlspace.
- * Crawlspaces are located below the main floor framing and above the foundation.
- * The International Residential Code (IRC) Section R408.4 requires access openings to under-floor spaces, either from the exterior or the interior.
- * If site conditions prevent exterior access, access must be provided from inside the building - typically through a framed opening in the main floor.

Why the Main Floor Framing Plan is Correct

- * Main Floor Framing Plan shows the joists, beams, and floor openings above the crawlspace.
- * The under-floor access opening (often between joists, covered by a hatch) must be framed into the main floor structure to allow entry to the crawlspace.
- * This plan will clearly show the location and framing details of the access hatch for contractor reference.

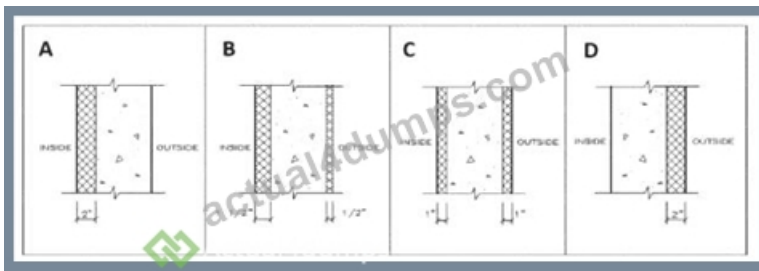
Why the Other Options Are Incorrect:

- * A. Second Floor Framing Plan - The crawlspace is not under the second floor, so no access opening would be framed here.
- * C. Foundation Plan - Shows foundation walls, footings, piers, and crawlspace layout, but the actual framed access opening is in the floor system above, not in the foundation drawing. The note about providing access might be referenced here, but the physical location and framing would be shown on the main floor framing plan.

NCARB ARE 5.0 PDD Study Guide References:

- * Content Area: Integration of Building Materials & Systems - Coordination between structural drawings and code requirements.
- * Code Reference: IRC R408.4 - Access Opening Requirements for Under-Floor Spaces.
- * Source References:
 - * Architectural Graphic Standards - Crawlspace access detailing
 - * Building Construction Illustrated (Ching) - Floor framing over crawlspaces

NEW QUESTION # 30



Refer to the exhibit.

The exterior cast-in-place concrete wall of a heated building is insulated with polyurethane slabs.

The concrete will be warmest in the winter if the insulation is applied as shown in which of the following?

- A. B
- **B. D**
- C. C
- D. A

Answer: B

Explanation:

To keep the concrete warmest in winter, place the continuous insulation on the exterior so the concrete mass stays inside the thermal envelope and sees interior temperatures. This reduces heat loss, limits risk of interstitial condensation at the concrete surface, and improves thermal lag. Option D shows all polyurethane insulation on the outside of the wall; A and B place some or all insulation inside, and C splits it—both allow more winter heat loss from the concrete.

PDD references: Building envelope heat flow & thermal mass strategy; continuous insulation placement (ASHRAE Fundamentals; NCARB ARE 5.0 PDD—Envelope & Thermal/Moisture Protection, CSI Div 07).

NEW QUESTION # 31

A construction detail for a window sill shows metal flashing terminating behind the exterior cladding. Which principle is being demonstrated?

- A. Thermal bridging
- B. Air barrier continuity
- C. Structural redundancy
- **D. Water management**

Answer: D

Explanation:

Proper flashing is critical for water shedding and moisture protection. Flashing behind the cladding allows water to drain outward—addressing ARE Objective 3.3: Evaluate construction details for moisture control.

NEW QUESTION # 32

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