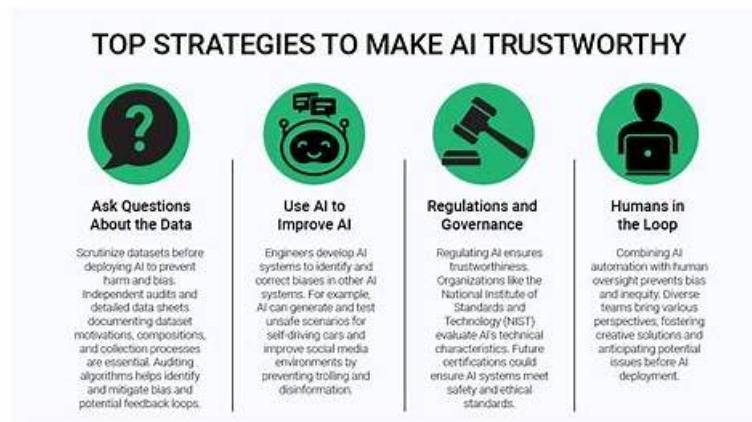


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NCARB ARE 5.0 Project Management (PjM) Exam Sample Questions (Q15-Q20):

NEW QUESTION # 15

Preparation of space standards, furniture assessment, and documentation of equipment requirements are most effectively done during which of the following project phases?

- A. Design Development
- **B. Programming**
- C. Schematic Design

Answer: B

Explanation:

Programming is the pre-design phase where user needs, space requirements, equipment, and furniture needs are assessed. This information is critical to developing an appropriate design later during schematic and design development phases.

References:

NCARB ARE 5.0 Handbook - Project Phases and Scope

AIA B101 - Programming and Owner-provided information

Ballast ARE 5 Review Manual - Programming and analysis

NEW QUESTION # 16

Construction of a gymnasium is scheduled to be complete 365 days from the date of the notice to proceed. On Friday, day 355 of the schedule, the contractor submits a punch list to the architect for substantial completion.

The architect agrees to review the punch list on-site after the weekend.

On Monday, the architect discovers that a subcontractor left open a skylight over the weekend, allowing heavy rain to fall into the courtyard area and damage the gymnasium floor. It was determined the flooring must be replaced. The lead time for new flooring is 8-10 weeks, and installation will take 14 days. The architect's agreement with the owner is contracted to end 30 days after substantial completion.

Which of the following documents must the architect prepare immediately? Check the two that apply.

- A. A request for liquidated damages for contractor review
- **B. A change order to purchase new flooring**
- C. A notice to the contractor for withholding final payment
- D. A revised schedule for owner approval
- E. An invoice for additional services for owner payment
- **F. A punch list for areas not damaged for contractor approval**

Answer: B,F

Explanation:

The punch list is valid only for work deemed substantially complete. Since the floor is damaged, substantial completion cannot yet be certified, but the architect can and should prepare a punch list for other non-affected areas. Meanwhile, the replacement flooring constitutes a change in scope, requiring a change order. The contractor, being responsible for the damage, will need to correct the work per the General Conditions (A201).

Incorrect choices:

- A). The contractor revises the schedule, not the architect.
- B). The owner assesses liquidated damages, not the architect directly.
- C). No additional services have been performed yet.
- E). Final payment withholding applies after project closeout, not now.

References:

AIA A201-2017 §§ 9.8-9.10

AIA B101-2017 §§ 3.6.2 & 4.2.3

NCARB ARE 5.0 Handbook - Construction Phase Services

NEW QUESTION # 17

What is the primary purpose of a construction schedule?

- A. To identify building code requirements
- **B. To allocate resources and sequence construction activities**
- C. To determine project budget and cost
- D. To prepare construction contract documents

Answer: B

Explanation:

A construction schedule outlines the timing and sequence of construction activities and resource allocation. It helps manage workflow, coordinate trades, minimize conflicts, and track progress. It is a tool for project control and communication among all parties. While budgets and code compliance are important, the schedule's main function is organizing the sequence and timing of work. This fundamental principle is emphasized in the ARE 5.0 PjM division's construction phase and project management practices.

NEW QUESTION # 18

In response to a request for qualifications for a prospective project, the architect assembles a project team of mechanical, electrical, plumbing, and fire protection engineers.

What is the project?

- A. a research university campus master plan
- B. the renovation of a commercial office building
- C. seismic upgrades of a 1950s era hospital
- **D. a new school for grades K-12**

Answer: D

Explanation:

K-12 schools typically require comprehensive MEPFP (Mechanical, Electrical, Plumbing, Fire Protection) engineering services due to their complex needs-such as HVAC systems, lighting, life safety, and code compliance. Other options may not require the full suite of these services at the proposal stage, particularly a master plan or focused seismic upgrades.

References:

NCARB ARE 5.0 Handbook - Consultant coordination by project type

Ballast ARE 5 Review Manual - K-12 school systems requirements

NEW QUESTION # 19

During which project phase is the architect primarily responsible for preparing detailed construction drawings and specifications?

- A. Design Development
- **B. Construction Documents**
- C. Schematic Design
- D. Bidding and Negotiation

Answer: B

Explanation:

The Construction Documents phase is when the architect develops comprehensive and detailed drawings and specifications that define the final design for bidding, permitting, and construction. This phase translates the design intent from schematic and design development drawings into precise documents that guide the contractor's work. Construction documents include plans, elevations, sections, details, schedules, and written specifications. These documents must be coordinated and thoroughly checked to reduce errors and omissions.

This phase also sets the basis for cost estimating and bidding. The architect's role is critical in ensuring these documents conform to all applicable codes, standards, and client requirements. This content aligns with the ARE 5.0 PjM division focus on project phases and deliverables, as outlined in NCARB's ARE 5.0 Handbook and Project Delivery guidelines.

NEW QUESTION # 20

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