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CSI CDT EXAM QUESTIONS WITH 100% ACCURATE ANSWERS

Owner - Accurate answers Principle stakeholder - initiates project, assumes risk, provides funding

AHJ - Authorities Having Jurisdiction - Accurate answers Protect public health, safety and welfare

Design Team - Accurate answers Address planning issues, determine design program, identify codes and regulations, produce procurement and construction documents, administer construction contract, "provide QA/QC procedures"

Contractor Team - Accurate answers Entity that constructs a facility. Uses management abilities to gather labor forces, subs, and material/product/equipment suppliers

Supplier Team - Accurate answers Furnishes the materials and products for the facility to be constructed. Fabricator, Distributor, Manufacturer, Supplier.

Facility Life Cycle - Accurate answers The life cycle of a facility, from concept through construction to use and eventual deconstruction.

Project Conception

Project Delivery

Design

Construction Documents

Procurement (Bidding/Negotiating/Purchasing)

Construction

Facility Management

Project Conception - Accurate answers Transforms the needs of owner into clear concept on which project can be designed. Feasibility Study, Programming, Site Selection, Budgeting.

Project Delivery - Accurate answers Determine delivery method to be used. Factors - qualifications, experience, capacity, project extent, time requirements.

Design - Accurate answers Two Phases: schematic design and design development. Deliverables include graphic and written design documents and estimates of project cost.

Schematic Design - Accurate answers Overall relationships and functions. Site plan and area, general size/shape/massing of elements, elevations and exteriors established, conceptual design criteria identified.

Deliverables - schematic drawings, probable cost, preliminary schedules

Design Development - Accurate answers Technical issues of constructibility and integration of systems and components.

Deliverables - Tech information, outline specifications, updated schedule, updated cost estimate.

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Construction Specifications Institute Construction Documents Technologist Sample Questions (Q44-Q49):

NEW QUESTION # 44

Which of the following ensure that all systems work together effectively to meet the overall project performance goals?

- A. Total project commissioning
- B. Field testing
- C. Inspection by architect
- D. Safety testing

Answer: A

Explanation:

CSI describes commissioning as a quality-focused, systematic process for verifying and documenting that the facility and its systems meet the Owner's Project Requirements (OPR). Within commissioning types, Total Project Commissioning (also called whole-building or total building commissioning) is defined as:

- * Encompassing the entire facility, including building envelope, systems, and interfaces.
- * Ensuring that all systems and assemblies operate together as an integrated whole to achieve performance targets (energy, comfort, safety, functionality, etc.).

* Involving activities from design through occupancy: reviews, tests, training, and performance verification.

Because the question specifically asks for the process that ensures all systems work together effectively to meet overall project performance goals, that description matches Total Project Commissioning (Option A).

Why the others are incorrect:

- * B. Inspection by architect - A/E inspections or observations confirm general conformance with the contract documents but are not a comprehensive performance verification process for all systems.
- * C. Safety testing - Focuses only on safety-related aspects, not on full integration and performance of all systems.
- * D. Field testing - Typically refers to testing of specific components or systems in the field; it is one tool within commissioning, not the overall coordinating process.

Relevant CSI references (no links):

* CSI Project Delivery Practice Guide - commissioning chapter (systems & equipment, building envelope, and total project commissioning).

* CSI CDT Body of Knowledge - sections on commissioning scope, objectives, and responsibilities across project phases.

NEW QUESTION # 45

Standards for sustainable facilities, products, and fundamental approaches emphasize the needs of what?

- A. Architect, supplier, and contractor
- B. Owner team, contractor team, and design team
- C. Public, private, and environmental health
- D. Owner, stakeholders, and participants

Answer: B

NEW QUESTION # 46

What is the procedure for guarding against defects and deficiencies before and during the execution of the work?

- A. Quality management
- B. Quality assurance
- C. Quality monitoring

- D. Quality control

Answer: B

Explanation:

CSI distinguishes clearly between quality assurance (QA) and quality control (QC):

- * Quality assurance focuses on procedures, planning, and processes established before and during the work to prevent defects and deficiencies. It's proactive and process-oriented-things like qualifications, mock-ups, preinstallation conferences, submittal review, and establishing methods.
- * Quality control focuses on inspection, tests, and verification of completed or in-progress work to identify defects and verify that requirements are met. It is more reactive and product-oriented.

The question asks for the procedure for guarding against defects and deficiencies before and during execution of the work, which clearly points to quality assurance-the preventive system of checks and requirements set up in advance and applied as the work proceeds.

Therefore, Option A - Quality assurance is correct.

Why the other options are not correct:

- * B. Quality control - QC is about testing and inspection of the finished or in-progress work to detect defects, not primarily about guarding against them through advance procedures.
- * C. Quality management - This is an overarching concept that can include both QA and QC but is not the specific procedural term CSI uses in the documents and Division 01 sections.
- * D. Quality monitoring - Not a standard CSI technical term in the same formal sense as quality assurance and quality control.

Key CSI-Oriented References (titles only, no links):

- * CSI Construction Specifications Practice Guide - sections on "Quality Requirements" and the distinction between QA and QC.
- * CSI Project Delivery Practice Guide - Design and Construction Phase quality processes.
- * CSI CDT Body of Knowledge - "Quality Requirements in Division 01 and Technical Sections."

NEW QUESTION # 47

According to standard general conditions, which of the following is true about shop drawings?

- A. They include performance charts, instructions, and brochures.
- B. **They illustrate some portion of the work.**
- C. They are reviewed only by the architect/engineer.
- D. They are contract documents.

Answer: B

NEW QUESTION # 48

When is the owner entitled to stop the work?

- A. If the architect/engineer fails to represent owner properly
- B. **If the contractor fails to correct work that is not compliant with the contract documents**
- C. If the contractor is presumed to be bankrupt
- D. If there is a safety problem on the site

Answer: B

Explanation:

CSI exam content aligns closely with the standard general conditions used in the industry (such as AIA A201). Under those conditions, the owner's right to stop the work typically arises when:

- * The contractor fails to correct work that is not in accordance with the Contract Documents, or
- * The contractor persistently fails to carry out the work in accordance with the Contract Documents.

In that situation, after appropriate notice, the owner may order the contractor to stop the work until the cause for such order has been eliminated. This is intended to protect the owner from continued defective or nonconforming work and to force corrective action. That is exactly what Option B describes.

Why the other options are incorrect or incomplete:

- * A. If the architect/engineer fails to represent owner properlyProblems in the A/E's services are handled through the owner-A/E agreement, not by stopping the contractor's work under the construction contract. There is no standard right for the owner to stop construction solely because of a dispute with the A/E.
- * C. If the contractor is presumed to be bankruptBankruptcy or insolvency is typically addressed under termination or suspension

provisions, not strictly the owner's immediate "stop work" right described in general conditions. A presumption of bankruptcy alone does not automatically trigger the standard "stop work" clause.

* D. If there is a safety problem on the siteThe contractor is usually designated as the party primarily responsible for site safety and for stopping unsafe operations. The owner may insist that unsafe conditions be corrected, and might in practice insist work stop, but the formal "owner's right to stop the work" clause in general conditions is tied to nonconforming work or failure to follow the Contract Documents, not generally to safety administration (which is the contractor's duty).

Therefore, in the context of CSI-aligned general conditions, the correct answer is B: when the contractor fails to correct work that is not compliant with the contract documents.

Key CSI Reference Titles (no links):

* CSI Project Delivery Practice Guide - Contract Administration and Owner's Rights during Construction.

* CSI Construction Specifications Practice Guide - discussion of General Conditions and owner /contractor responsibilities.

* CSI CDT Body of Knowledge - "General Conditions: Rights and Responsibilities of the Parties."

NEW QUESTION # 49

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