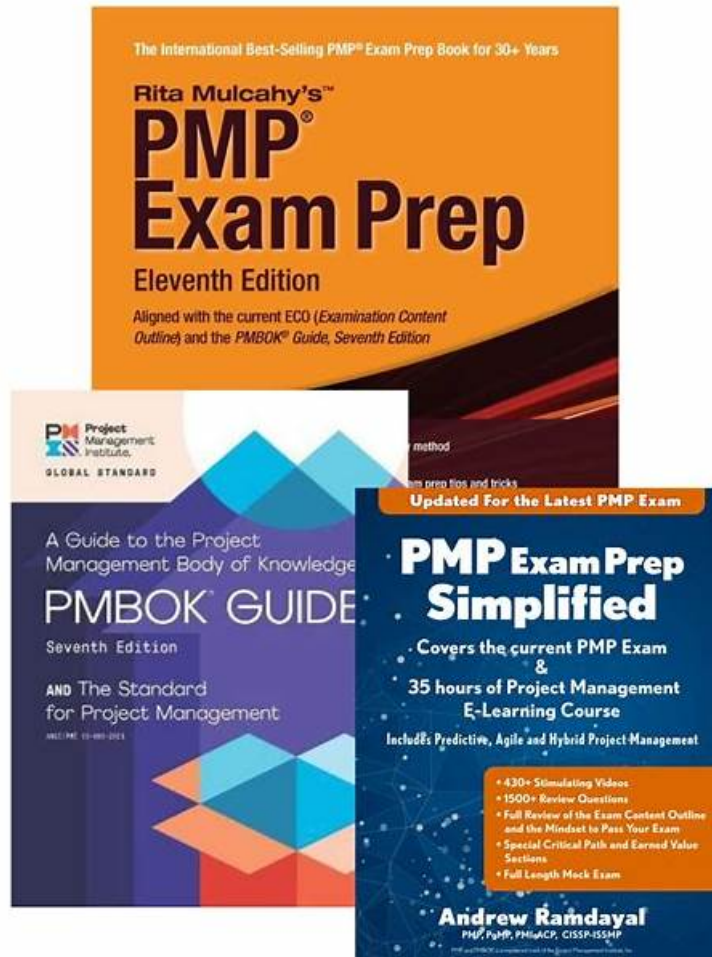


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NCARB ARE 5.0 Project Management (PjM) Exam Sample Questions (Q75-Q80):

NEW QUESTION # 75

During the preparation of the construction documents, it was noted that the survey inaccurately located the property line. Consequently, the parking layout had to be redesigned to fit within the corrected property boundary. The architect's additional costs and associated delay are the responsibility of which one of the following parties?

- A. Civil Engineer
- B. Surveyor
- **C. Owner**
- D. Architect

Answer: C

Explanation:

According to AIA B101 §5.1, the owner is responsible for providing the site survey and other site-related documentation. If the survey is inaccurate and causes delays or extra services, the owner is responsible for costs incurred. The architect should submit a claim for additional services.

* Surveyors are contracted by the owner (not by the architect unless explicitly stated).

* The architect is not liable for incorrect information furnished by the owner.

* Reference: AIA B101 §5.1 and §3.6

* NCARB ARE 5.0 Handbook - PjM Content Area 2: Budget and Contracts

NEW QUESTION # 76

What is the primary purpose of a construction schedule?

- A. To prepare construction contract documents
- B. To determine project budget and cost
- **C. To allocate resources and sequence construction activities**
- D. To identify building code requirements

Answer: C

Explanation:

A construction schedule outlines the timing and sequence of construction activities and resource allocation. It helps manage workflow, coordinate trades, minimize conflicts, and track progress. It is a tool for project control and communication among all parties. While budgets and code compliance are important, the schedule's main function is organizing the sequence and timing of work. This fundamental principle is emphasized in the ARE 5.0 PjM division's construction phase and project management practices.

NEW QUESTION # 77

The main goals on a large project are ease of communication and commitment from the project team. Which scheduling technique should be used?

- A. Critical path method
- B. Milestone chart
- **C. Interactive bar chart**

Answer: C

Explanation:

Interactive bar charts are ideal for large projects where team commitment and communication are priorities.

Unlike a simple milestone chart or the more complex Critical Path Method (CPM), interactive bar charts provide a visual, time-based representation of tasks that facilitates easy understanding across disciplines.

When developed in a collaborative setting (such as pull-planning or in-person planning sessions), these charts help the project team see their roles, identify dependencies, and commit to deliverables.

The ARE 5.0 Handbook (Project Management division) describes interactive bar charts as excellent tools for collaborative environments where schedule visibility and team accountability are essential.

These charts promote communication across team members and are easier for non-technical stakeholders to interpret.

Reference: NCARB ARE 5.0 Handbook - PjM Content Area 3: Project Work Planning

NEW QUESTION # 78

A construction project is one week away from the date of substantial completion as defined by an AIA A201 agreement. The owner comes forward with a major change to the work. The contractor and owner disagree on how much to extend the contract time. The project needs to proceed without delay while the contractor and owner work out the difference.

Which one of the following steps should the architect take?

- A. Issue a waiver of subrogation.
- **B. Issue a construction change directive.**
- C. Issue a minor change in the work.

Answer: B

Explanation:

When there is a disagreement over cost or time but the work must proceed, the architect can issue a Construction Change Directive (CCD). This allows the work to move forward while the owner and contractor negotiate terms. A Minor Change (B) is only for non-cost/time changes. Waiver of Subrogation (C) pertains to insurance.

CCDs are used under AIA A201 §7.3 when immediate work is needed but consensus hasn't been reached.

This is the formal process to avoid delay in project delivery.

Reference: AIA A201 §7.3 - Construction Change Directives

NCARB ARE 5.0 Handbook - PjM Content Area 5

NEW QUESTION # 79

A geotechnical report for a public project reveals a previously unknown condition and indicates that there is rock directly beneath the existing grade. The proposed building will now require a shallow foundation. The chosen location was the result of a three-year process evaluating multiple potential sites.

Which actions should the architect take next as a result of the geotechnical report results? Check the three that apply.

- A. Evaluate alternate project sites for the proposed building.
- **B. Update the current project schedule.**
- **C. Update the detailed cost estimate.**
- D. Consult with an excavation company for rock removal.
- **E. Determine what type of rock is beneath the existing grade.**
- F. Request an additional services agreement for the unknown condition.

Answer: B,C,E

Explanation:

The architect should take technical and managerial steps to respond to the new geotechnical data:

A). Identifying the type of rock informs excavation methods and potential foundation redesign.

B). The cost estimate must be updated because excavation in rock is significantly more expensive.

D). Schedule impacts are also probable due to extended excavation time.

C is incorrect because the site was already selected after a lengthy evaluation process. E may not apply unless the architect is being asked to provide significant redesign. F is not typically the architect's responsibility at this stage.

References:

NCARB ARE 5.0 Handbook - Geotechnical coordination and cost implications AIA B101 - Architect's Basic Services related to site analysis CSI MasterFormat - Division 31 (Earthwork), 03 (Concrete Foundations)

NEW QUESTION # 80

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