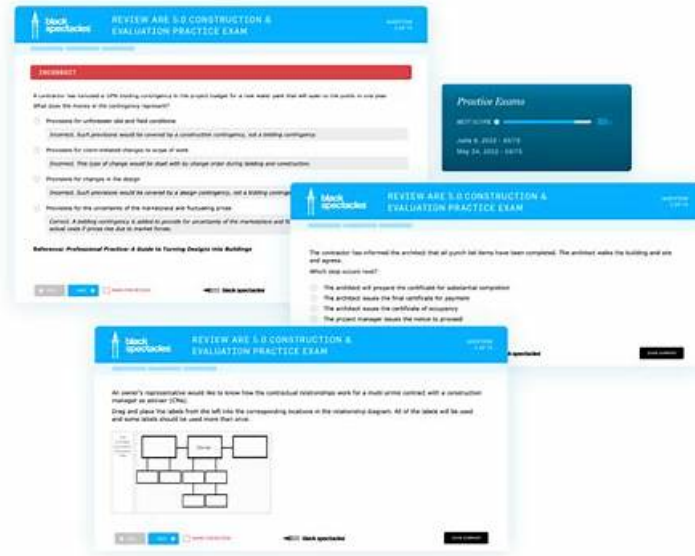


# PDD Practice Test - PDD Study Guide Pdf



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## NCARB PDD Exam Syllabus Topics:

Topic	Details
Topic 1	<ul style="list-style-type: none"> <li>• <b>Construction Cost:</b> This section of the exam measures the skills of Construction Managers and focuses on the financial side of project execution. It evaluates the ability to analyze construction cost estimates to confirm that they align with project design intent and budgetary constraints. Although this is the smallest section, it is critical for ensuring projects remain feasible and economically viable.</li> </ul>
Topic 2	<ul style="list-style-type: none"> <li>• <b>Project Manual &amp; Specifications:</b> This section of the exam measures the skills of Specifications Writers and emphasizes the importance of developing documentation that goes beyond drawings. Candidates must understand how to identify and prioritize elements needed to prepare, maintain, and refine both the project manual and project specifications. It also assesses the ability to align and coordinate these specifications with the construction documents to ensure consistency and accuracy.</li> </ul>
Topic 3	<ul style="list-style-type: none"> <li>• <b>Integration of Building Materials &amp; Systems:</b> This section of the exam measures the skills of Architectural Designers and focuses on the ability to resolve and integrate various building systems into cohesive project goals. It covers analyzing architectural systems and technologies, determining the size of structural, mechanical, electrical, and plumbing systems, and incorporating specialty systems such as acoustics, lighting, security, and communications. It also evaluates the ability to detail how multiple building systems work together and to coordinate across disciplines to achieve a unified design.</li> </ul>
Topic 4	<ul style="list-style-type: none"> <li>• <b>Codes &amp; Regulations:</b> This section of the exam measures skills of Building Code Specialists and examines how codes and regulations apply at a detailed level during documentation. Candidates are expected to demonstrate knowledge of compliance with the International Building Code (IBC) as well as other specialty regulations, as well as how to interpret and apply these standards to ensure design and documentation meet legal and safety requirements.</li> </ul>

Topic 5	<ul style="list-style-type: none"> <li>• <b>Construction Documentation:</b> This section of the exam measures skills of Project Architects and addresses the creation and management of project documentation. Candidates are expected to demonstrate knowledge of documenting building design and site features, preparing detailed architectural drawings, and applying industry standards to produce a coordinated set of construction documents. The section also includes understanding how project changes impact documentation and how to communicate these updates effectively to both the design team and the client.:</li> </ul>
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>> PDD Practice Test <<

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### NCARB ARE 5.0 Project Development and Documentation Exam Sample Questions (Q74-Q79):

#### NEW QUESTION # 74

Which of the following admixtures is used to greatly increase the slump of concrete?

- A. Water-reducing agent
- B. Air-entraining agent
- C. Calcium chloride
- **D. Superplasticizer**

#### Answer: D

Explanation:

Comprehensive Detailed Explanation with all NCARB ARE 5.0 Project Development and Documentation (PDD) Study Guide References:

In concrete technology, admixtures are used to modify properties of fresh or hardened concrete:

Air-entraining agents: Introduce microscopic air bubbles to improve freeze-thaw resistance; they do not increase slump.

Water-reducing agents: Reduce water content while maintaining slump; increase workability but only moderately.

Calcium chloride: An accelerator, speeds up setting time; does not increase slump.

Superplasticizers (also called high-range water reducers): Significantly increase the slump (workability) of concrete without adding extra water, making the mix more flowable and easier to place.

Thus, to greatly increase slump while maintaining water-cement ratio, the superplasticizer is the correct choice.

Supporting References:

NCARB ARE 5.0 Review Manual, Materials and Assemblies section

Portland Cement Association publications on admixtures

ACI (American Concrete Institute) guidelines on admixtures

#### NEW QUESTION # 75

Where is the proper place to put a vapor barrier in a cold climate?

- A. On the exterior between the framing and the sheathing
- **B. On the interior between the gypsum wallboard and the framing**
- C. In the cavity of the framing space
- D. On the exterior between the metal siding and the sheathing

#### Answer: B

Explanation:

In cold climates, the vapor drive is from the warm interior to the cold exterior during winter. The vapor retarder/barrier belongs on

the warm-in-winter side of the assembly-i.e., behind the interior gypsum, before the framing/insulation-to prevent interior moisture from reaching cold layers where it could condense.

PDD references: Psychrometrics & vapor drive; vapor retarder placement (ASHRAE; IBC/IECC guidance; ARE 5.0 PDD-Thermal & Moisture Protection).

#### NEW QUESTION # 76

Which species of wood is often used as a substitute for more costly species because of its hardness, grain pattern, and ability to take paint and stain well?

- A. Red oak
- B. Cypress
- C. Redwood
- D. Poplar

**Answer: D**

Explanation:

Poplar is a hardwood that is relatively inexpensive compared to species like maple, cherry, or oak. It has:

Good hardness and uniform grain

Takes paint and stain well (although stain may require pre-treatment for even color) Often used as a cost-effective substitute for higher-priced hardwoods in furniture, millwork, and trim.

Why not others:

Red oak: Hard and attractive but more costly.

Cypress: Softwood valued for decay resistance, not typically a hardwood substitute.

Redwood: Softwood, expensive, used for exterior decay resistance.

PDD Reference: ARE 5.0 PDD "Materials-Wood species characteristics," CSI Div. 06 Wood & Plastics, Architectural Woodwork Institute (AWI) standards.

#### NEW QUESTION # 77

A family-owned apple farm in the Upper Midwest is taking advantage of a change in the local zoning code that added a new Agri-Tourism class in the existing farm zone. This allows the Owner to build a new facility on their existing site. The building will be open to the public and include a brewery, distillery, tap room, and market. The architect is ready to submit the drawings to the Owner for the 50% construction documents review.

To accommodate a compressed construction schedule, the Owner will be utilizing a design-build process. The Contractor has submitted the Pre-Engineered Metal Building (PEMB) shop drawings to the Architect for review, due to the lead time on this critical path item. Once construction begins, farming operations must be able to continue uninterrupted.

Key project information includes:

\* Brewing and distilling will operate year-round.

\* Brewery will initially include four fermenting tanks. Owner has requested space for at least two additional tanks. Potential expansion will be based on future sales.

\* Distillery will produce 16% alcohol, which is classified as a flammable liquid. Fire separations are required.

\* Tap Room is designed with seating for 300 people, not including exterior patio seating. It will have views to the working orchards and the historic buildings on site.

\* Tap Room is scheduled to be open from August through November. Owner would like options to extend operating dates based on popularity.

\* The Market area will feature local farm products and is not conditioned.

\* Entire building will be fully sprinklered.

\* Selected building materials are low-maintenance, as requested by the Owner, for durability and to reflect the nature of a working farm.

\* Mechanical and electrical systems will be hung from the building structure. These loads are included in PEMB shop drawings.

\* Public water and sewer is not available at the Project Site.

\* Occupancy sensors are included to reduce utility costs and achieve energy conservation requirements.

The following resources are available for your reference:

\* Architectural Drawings, including plans, elevations, sections, and schedules

\* Consultant Drawings, including structural, HVAC, power distribution, and plumbing

\* PEMB Shop Drawings

\* Design and Construction Schedule

\* Specification Excerpts, showing relevant spec sections

\* IBC and ADA Excerpts, showing relevant code and accessibility sections

\* After reviewing the documents, the architect discovers a coordination issue in the corridor.

Ceiling Material	Thickness	SF	SF cost	RT
Cementitious Wood Fiber Panels	1"	448	\$12.64	2.0
Cementitious Wood Fiber Panels	2"	384	\$18.95	1.8
2x2 Acoustical Ceiling Tile	15/16"	900	\$8.81	2.0
Acoustical Sound Board	1"	256	\$18.23	1.6

The owner is concerned about elevated noise levels in the Tap Room when fully occupied. The current design utilizes a 2 x 2 acoustic ceiling tile system installed above the fans. An acoustical engineer recommends noise mitigation through limiting reverberation time (RT) to 2.0 seconds or less in the space. This can be achieved by the provided ceiling material options and their corresponding area.

What should the architect recommend that will minimize additional project costs while providing the recommended acoustical solution?

- A. Retain current ceiling cloud layout and a 2 x 2 acoustic ceiling tile system but remove the fans.
- B. Revise design using only one ceiling cloud and cementitious wood fiber panel system (2" in thickness).
- C. Retain current ceiling cloud layout and a 2 x 2 acoustic ceiling tile system and add acoustical sound board above.
- D. Revise design using only one ceiling cloud and cementitious wood fiber panel system (1" in thickness).

**Answer: C**

Explanation:

#### 1. Problem Summary

\* Goal: Reduce reverberation time (RT) in the Tap Room to 2.0 seconds or less.

\* Current design: 2' x 2' acoustic ceiling tile system (RT = 2.0 seconds) installed above fans.

\* Constraint: Minimize additional project cost.

\* Recommendation from acoustical engineer: Use materials to achieve target RT without redesigning the space.

#### 2. Review of Table Data

Material

RT

SF

SF Cost

Cementitious Wood Fiber Panels (1")

2.0

448

\$12.64

Cementitious Wood Fiber Panels (2")

1.8

384

\$18.95

2x2 Acoustical Ceiling Tile (15/16")

2.0

900

\$8.81

Acoustical Sound Board (1")

1.6

256

\$18.23

#### 3. Interpretation of RT Values

\* Current 2x2 Acoustic Ceiling Tile: RT = 2.0 seconds # meets the target exactly.

\* However, fans may reduce the acoustic performance by reflecting or scattering sound, so supplemental absorption may be needed.

\* Adding Acoustical Sound Board (RT = 1.6) above the existing tile system will improve absorption and lower RT below 2.0 seconds.

#### 4. Cost & Constructability

\* Retaining the current ceiling layout and simply adding a layer above is:

\* Least disruptive to current design.

\* Avoids redesign of the ceiling cloud layout.

\* Minimizes schedule impact (critical for design-build with compressed schedule).

\* Replacing with wood fiber panels (1" or 2") would require removal of existing tile, redesign of suspension, and higher cost/SF.

#### 5. Why Other Options Are Incorrect

\* A. Remove fans: This addresses air movement, not RT. Removing them does not guarantee RT improvement and conflicts with HVAC design intent.

\* B. One cloud + 1" wood fiber panels: Reduces coverage area and may not meet RT goal; also costly and disruptive.

\* C. One cloud + 2" wood fiber panels: Even more costly, same redesign problem as B.

\* D. Retain tiles and add sound board above: Achieves RT < 2.0, minimal disruption, cost-effective vs.

full replacement # best option.

#### 6. NCARB ARE 5.0 PDD Study Guide References

\* Content Area: Building Systems Integration - Acoustics

\* Reference Sources:

\* Architectural Graphic Standards - Acoustic material properties

\* Mechanical and Electrical Equipment for Buildings (MEEB) - Room acoustics and reverberation control

\* ASTM C423 - Sound Absorption and Sound Absorption Coefficients by the Reverberation Room Method

### NEW QUESTION # 78

Specifications and details for repointing deteriorated masonry joints in historic soft-brick buildings should result in which one of the following?

- A. An increased mortar strength over the original mortar
- B. Deeper joint profiles
- C. The duplication of original mortar strength
- D. A bond between the existing masonry and the new mortar that is stronger than the brick

**Answer: C**

Explanation:

Understanding the Problem

This question is about historic masonry restoration - specifically, repointing deteriorated mortar joints in soft-brick buildings.

Historic bricks, especially those made before the early 20th century, are often much softer and more porous than modern high-fired bricks. The mortar originally used was also softer, usually lime-based, which allowed for thermal movement, moisture permeability, and protection of the brick units.

Why the Correct Answer is "Duplication of Original Mortar Strength"

\* Best practice in preservation (as outlined in the Secretary of the Interior's Standards for the Treatment of Historic Properties) is to match the original mortar in strength, composition, permeability, and appearance.

\* A mortar stronger than the original can cause the softer brick to crack or spall under thermal or moisture stresses, because the brick will end up being the weaker link and take the damage.

\* Duplication ensures that the new mortar works compatibly with the old masonry system - allowing for similar vapor transmission and structural flexibility.

Why the Other Options Are Incorrect:

\* B. Increased mortar strength over the original mortar - This is harmful in historic soft-brick construction. Stronger cement-based mortars can trap moisture in the brick, leading to freeze-thaw damage and spalling.

\* C. A bond stronger than the brick - This would cause the brick to fail first when stress occurs, which is undesirable in preservation work.

\* D. Deeper joint profiles - Deeply raking out joints unnecessarily can damage surrounding brick edges and change the visual proportions; repointing depth should only be enough to remove deteriorated mortar (typically 2-2.5 times the joint width).

NCARB ARE 5.0 PDD Study Guide References:

\* Content Area: Integration of Building Materials & Systems - Historic Preservation Techniques

\* Key Resources:

\* The Secretary of the Interior's Standards for Rehabilitation & Illustrated Guidelines for Rehabilitating Historic Buildings

\* National Park Service Preservation Brief 2: "Repointing Mortar Joints in Historic Masonry Buildings"

\* Building Construction Illustrated - Masonry Restoration

\* Key Preservation Principle: "New mortar should match the historic mortar in composition, strength, and vapor permeability."

### NEW QUESTION # 79

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not enough comprehensive, therefore, we need to know the importance of getting the test PDD certification, qualification certificate for our future job and development is an important role. Only when we have enough qualifications to prove our ability can we defeat our opponents in the harsh reality. We believe our PDD actual question will help you pass the PDD qualification examination and get your qualification faster and more efficiently.

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