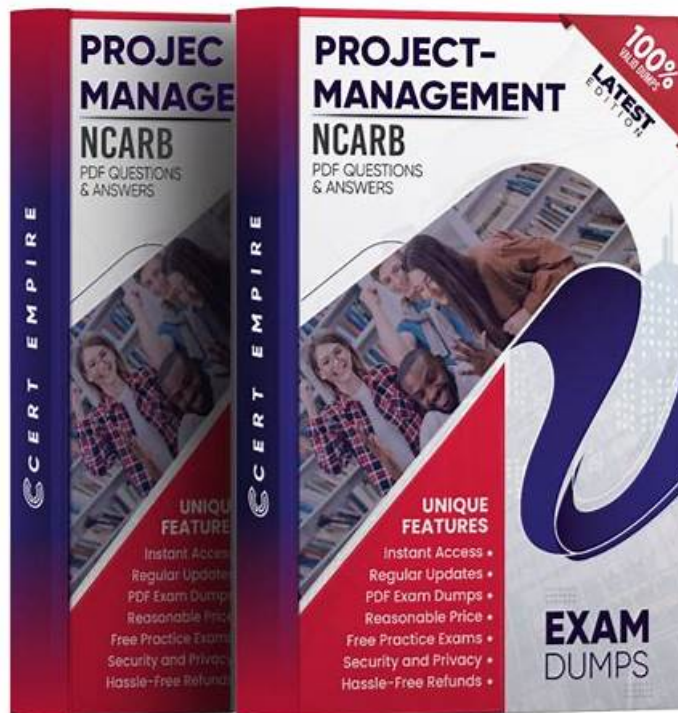


NCARB Project-Management Exam Questions - Updated Frequently



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NCARB Project-Management Exam Syllabus Topics:

Topic	Details
Topic 1	<ul style="list-style-type: none"> Project Execution: This section of the exam measures skills of architectural associates and covers the management of project execution through administrative procedures rather than design decisions. It addresses evaluating budgets, managing scope changes, preparing project documentation in line with delivery methods, and securing necessary approvals from relevant authorities.
Topic 2	<ul style="list-style-type: none"> Resource Management: This section of the exam measures the skills of project managers and covers how to determine the right team composition and manage time allocation for successful project delivery. It focuses on evaluating criteria for assembling teams and ensuring resources are properly managed to execute the project within agreed terms.
Topic 3	<ul style="list-style-type: none"> Project Quality Control: This section of the exam measures skills of project managers and covers procedures for ensuring quality and maintaining the Standard of Care throughout the project. It focuses on applying regulatory requirements, reviewing documentation for quality, reducing risks and liabilities, and managing the design process to preserve its objectives

Topic 4	<ul style="list-style-type: none"> • Project Work Planning: This section of the exam measures the skills of architectural associates and covers the development and communication of an effective project work plan. It emphasizes maintaining schedules, setting clear criteria for work planning, and ensuring consistent communication with stakeholders, including owners, contractors, consultants, and internal staff.
Topic 5	<ul style="list-style-type: none"> • Contracts: This section of the exam measures the skills of project managers and covers the analysis of contracts that govern the relationships between architects, owners, contractors, and consultants. It highlights verifying adherence to agreements, interpreting key contractual elements, and ensuring consultant work is properly integrated into the project.

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NCARB ARE 5.0 Project Management (PjM) Exam Sample Questions (Q14-Q19):

NEW QUESTION # 14

A key Project Manager leaves an architectural firm halfway through a project. Several days of lost productivity pass while the new Project Manager determines the customized organization that the previous Project Manager used. The new Project Manager recommends implementing new office policies to create standards and quality control methods for the entire office. Which methods should be implemented? Check the four that apply.

- A. standardize work flow
- B. improve quality continuously
- C. measure performance
- D. change the project delivery sequence
- E. customize work flow
- F. review current processes

Answer: A,B,C,F

Explanation:

Comprehensive Detailed Explanation:

Best practices in quality management include:

A). Reviewing existing methods to identify inefficiencies

B). Standardizing workflow to prevent variability and loss of knowledge D). Measuring performance to track productivity and outcomes E). Continuous improvement ensures the office adapts and grows C is incorrect as customization contradicts standardization and is the root of the issue. F is a drastic step not warranted by the situation.

References:

NCARB ARE 5.0 PjM Handbook - Quality management and office standards

Ballast ARE 5 Review Manual - Project Management tools and quality assurance AIA Best Practices - Office workflow documentation and training

NEW QUESTION # 15

A new site has been identified for a prototype fast food restaurant. The geotechnical report indicates fill materials were found in the subsurface conditions along the east side of the proposed building location.

What member of the project team should be involved in modifications to the prototype building design to address this issue?

- A. Structural Engineer

- B. Environmental Engineer
- C. Excavation Contractor
- D. Landscape Architect

Answer: A

Explanation:

Comprehensive Detailed Explanation:

When fill material is discovered in the geotechnical report, the structural engineer must assess the stability and bearing capacity of the soil to determine whether foundations need to be redesigned or modified. Fill can result in settlement or poor load-bearing conditions. The structural engineer will use the geotechnical report to modify foundation types, slab-on-grade design, or structural systems accordingly.

References:

NCARB ARE 5.0 Handbook - Project Management (PjM) division: Coordination with consultants CSI MasterFormat - Division 31 (Earthwork) and Division 03 (Concrete) AIA Document B101 - Architect's responsibility to coordinate structural implications with consultants

NEW QUESTION # 16

A contractor has hired a subcontractor to construct a parking lot for 60 cars. The parking lot will be 60 feet x 270 feet. The subcontractor has quoted a price of \$13.25 per square yard to the contractor.

If the contractor adds a mark-up of 15%, what is the cost of each parking space?

- A. \$398
- B. \$3,578
- C. \$4,115
- **D. \$457**

Answer: D

Explanation:

Comprehensive Detailed Explanation:

Step 1: Calculate area in square feet:

$$60 \text{ ft} \times 270 \text{ ft} = 16,200 \text{ sq ft}$$

Step 2: Convert to square yards:

$$16,200 \text{ sq ft} \div 9 = 1,800 \text{ sq yd}$$

Step 3: Calculate base cost:

$$1,800 \text{ sq yd} \times \$13.25 = \$23,850$$

Step 4: Add 15% markup:

$$\$23,850 \times 1.15 = \$27,427.50$$

Step 5: Divide total cost by 60 parking spaces:

$$\$27,427.50 \div 60 = \$457.13 \text{ \# Approx. } \$457 \text{ per space}$$

References:

NCARB ARE 5.0 Handbook - Cost estimating and budgeting

CSI MasterFormat - Division 32 (Exterior Improvements)

ARE 5 Review Manual - Project Management, Cost and Quantity Takeoffs

NEW QUESTION # 17

An architect is working on a large renovation project with an AIA B101 contract. The owner decides to contract separately with an electrical engineer and a security firm. The security firm asks the engineer and architect to coordinate the details for a new card reader access control system.

What is the first step the architect should take?

- A. Provide coordination drawings to the engineer
- **B. Request authorization from the owner to provide additional services**
- C. Ask the engineer to provide details to the security firm

Answer: B

Explanation:

Since the security firm is a direct contractor of the owner, coordination falls outside the architect's basic scope as defined in AIA B101. Coordination with third parties not under the architect's consultant team typically constitutes additional services. Therefore, before taking on that responsibility, the architect must request written authorization from the owner.

References:

AIA B101-2017 § 4.2.1 and § 3.1.3

AHPP, 15th ed., Chapter 10 - Project Delivery and Consultant Coordination

NEW QUESTION # 18

Who is responsible for verifying the accuracy of the contractor's payment application?

- A. Construction manager
- B. Owner
- C. Architect
- D. Contractor's accountant

Answer: C

Explanation:

The architect reviews the contractor's payment applications to verify work progress aligns with the schedule of values and contract documents. The architect recommends payment amounts to the owner but does not release funds. This function protects owner interests and ensures proper contract administration, as emphasized in ARE 5.0 PjM.

NEW QUESTION # 19

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