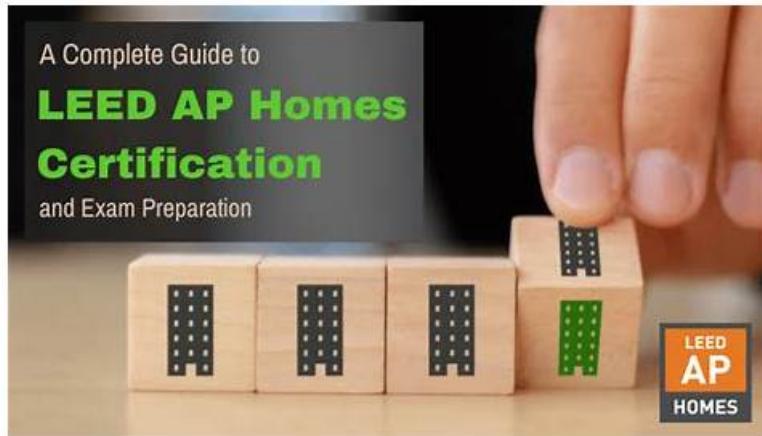


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USGBC LEED-AP-Homes Exam Syllabus Topics:

Topic	Details
Topic 1	<ul style="list-style-type: none">LEED Process: This section of the exam measures the skills of a Green Building Consultant. It covers the comprehensive framework of the LEED Homes certification process, from understanding project eligibility and roles—such as green raters and quality assurance designees—to navigating certification requirements, the LEED verification process, and documentation submission to GBCI.
Topic 2	<ul style="list-style-type: none">Innovation: This section of the exam measures the skills of a Design Innovation Lead. It invites professionals to explore creative and exemplary strategies that surpass standard credits—such as pilot projects or pioneering sustainability solutions—demonstrating forward-thinking in residential design.

Topic 3

- Energy and Atmosphere: This section of the exam measures the skills of a Green Building Engineer. It includes evaluating the principles of energy efficiency, performance optimization, and emissions reduction in residential design, all critical to minimizing environmental impact while meeting occupant needs.

USGBC LEED AP Homes (Residential) Exam Sample Questions (Q64-Q69):

NEW QUESTION # 64

What is the prerequisite for landscaping in Sustainable Sites?

- A. Use plants native to the region
- B. Introduce no invasive plant species
- C. Replace known invasive plants
- D. Select plants qualifying as drought tolerant

Answer: B

Explanation:

The LEED for Homes Rating System (v4) includes the Sustainable Sites (SS) Prerequisite: Site Development - Protect or Restore Habitat, which sets requirements for landscaping to protect local ecosystems. A key aspect is preventing the introduction of invasive plant species that can harm biodiversity.

According to the LEED Reference Guide for Homes Design and Construction (v4):

SS Prerequisite: Site Development - Protect or Restore Habitat

Do not introduce any invasive plant species into the landscape. Invasive species are defined as those that are non-native and whose introduction causes or is likely to cause environmental harm.

Source: LEED Reference Guide for Homes Design and Construction, v4, Sustainable Sites Prerequisite: Site Development - Protect or Restore Habitat, p. 72.

The LEED v4.1 Residential BD+C rating system confirms:

SS Prerequisite: Site Development - Protect or Restore Habitat

The project must not use invasive plant species in landscaping to protect native ecosystems and prevent ecological disruption.

Source: LEED v4.1 Residential BD+C, Credit Library, accessed via USGBC LEED Online.

The prerequisite requires that projects introduce no invasive plant species (Option C) to ensure landscaping supports local biodiversity and ecosystem health.

Why not the other options?

Reference: LEED Reference Guide for Homes Design and Construction, v4, SS Credit: Site Development - Protect or Restore Habitat, p. 74.

B). Use plants native to the region: Native plants are encouraged in credits (e.g., WE Credit: Outdoor Water Use or SS Credit: Site Development), but the prerequisite only mandates avoiding invasive species. Reference:

LEED Reference Guide for Homes Design and Construction, v4, SS Prerequisite: Site Development - Protect or Restore Habitat, p. 72.

D). Select plants qualifying as drought tolerant: Drought-tolerant plants are relevant to WE Credit:

Outdoor Water Use, not the SS prerequisite. Reference: LEED Reference Guide for Homes Design and Construction, v4, WE Credit: Outdoor Water Use, p. 98.

The LEED AP Homes Candidate Handbook emphasizes SS prerequisites, including landscaping requirements, and references the LEED Reference Guide for Homes Design and Construction as a key resource. The exam is based on LEED v4, ensuring the relevance of the invasive species requirement.

References:

LEED Reference Guide for Homes Design and Construction, v4, USGBC, Sustainable Sites Prerequisite: Site Development - Protect or Restore Habitat, p. 72.

LEED v4.1 Residential BD+C, USGBC LEED Credit Library, accessed via LEED Online (<https://www.usgbc.org/credits>).

LEED AP Homes Candidate Handbook, GBCI, October 2024, p. 12 (references study resources and exam scope based on LEED v4).

USGBC LEED for Homes Rating System (v4), available via USGBC website (<https://www.usgbc.org/resources/leed-homes-design-and-construction-v4>).

LEED v4.1 for Homes, USGBC, accessed via LEED Online, confirming invasive species prohibition.

NEW QUESTION # 65

If the roof sheathing of a home is constructed of certified lumber approved for LEED, under what circumstances can points be earned?

- A. If the certified content is greater than 90%
- B. No points are earned because certified lumber is a prerequisite
- C. If the certified wood is sourced from a 600 mi. (966 km) radius
- D. If the certified content is greater than 45%

Answer: A

Explanation:

The LEED for Homes Rating System (v4) awards points for the Materials and Resources (MR) Credit: Environmentally Preferable Products when using certified lumber, specifically Forest Stewardship Council (FSC)-certified wood, which contributes to the required percentage of material cost.

According to the LEED Reference Guide for Homes Design and Construction (v4):

MR Credit: Environmentally Preferable Products (1-4 points)

Use FSC-certified wood for at least 25% (1 point), 50% (2 points), or 90% (3-4 points) by cost of the total materials. For specific material categories like roof sheathing, at least 90% of the component (by cost) must be FSC-certified to significantly contribute to the credit.

Source: LEED Reference Guide for Homes Design and Construction, v4, Materials and Resources Credit:

Environmentally Preferable Products, p. 160-161.

The LEED v4.1 Residential BD+Crating system confirms:

MR Credit: Environmentally Preferable Products

Points are awarded for FSC-certified lumber if it constitutes at least 90% of a specific component like roof sheathing (by cost) to meet higher point thresholds (e.g., 3-4 points). Certified lumber is not a prerequisite; it contributes to the credit.

Source: LEED v4.1 Residential BD+C, Credit Library, accessed via USGBC LEED Online.

The correct answer is if the certified content is greater than 90% (Option B), as this ensures the roof sheathing significantly contributes to the credit's material cost threshold for points.

Why not the other options?

Reference: LEED Reference Guide for Homes Design and Construction, v4, MR Credit: Environmentally Preferable Products, p. 161.

C). If the certified wood is sourced from a 600 mi. (966 km) radius: Local sourcing (within 100 miles) is relevant for Option 1: Local Production, not FSC certification. Reference: LEED Reference Guide for Homes Design and Construction, v4, MR Credit: Environmentally Preferable Products, p. 160.

D). No points are earned because certified lumber is a prerequisite: Certified lumber is not a prerequisite; MR Prerequisite: Certified Tropical Wood applies only to tropical wood, not all lumber. Reference: LEED Reference Guide for Homes Design and Construction, v4, MR Prerequisite: Certified Tropical Wood, p. 156.

The LEED AP Homes Candidate Handbook emphasizes MR credits, including certified lumber, and references the LEED Reference Guide for Homes Design and Construction as a key resource. The exam is based on LEED v4, ensuring the relevance of FSC certification thresholds.

References:

LEED Reference Guide for Homes Design and Construction, v4, USGBC, Materials and Resources Credit: Environmentally Preferable Products, p. 160-161.

LEED v4.1 Residential BD+C, USGBC LEED Credit Library, accessed via LEED Online (<https://www.usgbc.org/credits>).

LEED AP Homes Candidate Handbook, GBCI, October 2024, p. 12 (references study resources and exam scope based on LEED v4).

USGBC LEED for Homes Rating System (v4), available via USGBC website (<https://www.usgbc.org/resources/leed-homes-design-and-construction-v4>).

LEED v4.1 for Homes, USGBC, accessed via LEED Online, confirming certified lumber criteria.

NEW QUESTION # 66

Envelope leakage is minimized by:

- A. Installing a drainage plane.
- B. Specifying HERS Grade II Insulation.
- C. Conducting a blower door test.
- D. **Installing a continuous air barrier.**

Answer: D

Explanation:

Minimizing envelope leakage is a critical component of improving energy efficiency in homes, as it reduces unintended air infiltration and exfiltration through the building envelope. This concept is addressed in the LEED for Homes Rating System (v4) under the Energy and Atmosphere (EA) category, specifically in credits related to Air Infiltration and Building Envelope Performance.

According to the LEED Reference Guide for Homes Design and Construction (v4), the primary method to minimize envelope leakage is to install a continuous air barrier:

EA Prerequisite: Minimum Energy Performance

To reduce air infiltration, projects must include a continuous air barrier system that is sealed at all penetrations, joints, and interfaces to prevent air leakage. The air barrier must be installed around the entire building envelope, including walls, roofs, and floors.

Source: LEED Reference Guide for Homes Design and Construction, v4, Energy and Atmosphere Prerequisite: Minimum Energy Performance, p. 112.

Additionally, the LEED v4.1 Residential BD+C rating system reinforces this requirement:

EA Credit: Air Infiltration

Install a continuous air barrier system to control air leakage through the building envelope. The air barrier must be airtight, durable, and continuous, with all seams, penetrations, and transitions sealed.

Source: LEED v4.1 Residential BD+C, Credit Library, accessed via USGBC LEED Online.

A continuous air barrier is a system of materials (e.g., house wraps, sealed drywall, or spray foam) that forms a complete barrier to air movement, significantly reducing energy losses due to leakage. This is a proactive design and construction strategy to achieve energy efficiency goals.

Why not the other options?

Reference: LEED Reference Guide for Homes Design and Construction, v4, Sustainable Sites Credit: Rainwater Management, p. 76, which discusses drainage planes in the context of moisture control.

B). Conducting a blower door test: A blower door test is a diagnostic tool used to measure air leakage in a building, not to minimize it. It quantifies the air tightness of the envelope (in air changes per hour, ACH) but does not physically reduce leakage. It is required for verification in LEED v4 (EA Credit: Air Infiltration) but is not a solution for minimizing leakage. Reference: LEED Reference Guide for Homes Design and Construction, v4, EA Credit: Air Infiltration, p. 124.

D). Specifying HERS Grade II Insulation: HERS (Home Energy Rating System) insulation grades refer to the quality of insulation installation, with Grade II indicating moderate defects. While proper insulation reduces conductive heat loss, it does not directly address air leakage, which is managed by the air barrier system. Reference: LEED Reference Guide for Homes Design and Construction, v4, EA Credit: Insulation, p. 120, which discusses HERS insulation grades but not air leakage.

The LEED AP Homes Candidate Handbook emphasizes the importance of understanding EA credits, including air infiltration, for the exam, referencing the LEED Reference Guide for Homes Design and Construction as a key study resource. The handbook confirms that the exam is based on LEED v4, ensuring the relevance of the continuous air barrier requirement.

References:

LEED Reference Guide for Homes Design and Construction, v4, USGBC, Energy and Atmosphere Prerequisite: Minimum Energy Performance, p. 112, and EA Credit: Air Infiltration, p. 124.

LEED v4.1 Residential BD+C, USGBC LEED Credit Library, accessed via LEED Online (<https://www.usgbc.org/credits>).

LEED AP Homes Candidate Handbook, GBCI, October 2024, p. 12 (references study resources and exam scope based on LEED v4).

USGBC LEED for Homes Rating System (v4), available via USGBC website (<https://www.usgbc.org/resources/leed-homes-design-and-construction-v4>).

LEED v4.1 for Homes, USGBC, accessed via LEED Online, confirming air barrier requirements.

NEW QUESTION # 67

How is credit earned under Regional Priority Credit, Regional Priority when the credit has multiple thresholds?

- A. Points are awarded at the maximum threshold
- B. Points are awarded at the minimum threshold
- C. Points are awarded at particular levels of achievement
- D. Points are awarded when the maximum threshold has been exceeded**

Answer: D

Explanation:

The LEED for Homes Rating System (v4) includes Regional Priority (RP) Credits, which provide bonus points for achieving existing credits identified as environmentally significant for a project's region. For credits with multiple thresholds, exemplary performance can earn additional points.

According to the LEED Reference Guide for Homes Design and Construction (v4):

Regional Priority Credits (1-4 points)

Regional Priority Credits are awarded for achieving designated credits that address location-specific environmental priorities. For credits with multiple thresholds (e.g., Water Efficiency Credit: Outdoor Water Use), an additional bonus point is awarded when the maximum threshold has been exceeded, demonstrating exemplary performance.

Source: LEED Reference Guide for Homes Design and Construction, v4, Regional Priority Credits, p. 190; Innovation Credit: Innovation, p. 190.

The LEED v4.1 Residential BD+C rating system confirms:

Regional Priority Credits

When an RP credit has multiple thresholds, a project earns the bonus point by meeting the base credit requirements, and an additional point may be earned for exemplary performance by exceeding the maximum threshold of the underlying credit.

Source: LEED v4.1 Residential BD+C, Credit Library, accessed via USGBC LEED Online.

The correct answer is points are awarded when the maximum threshold has been exceeded (Option C), as RP credits with multiple thresholds award bonus points for exemplary performance beyond the highest threshold.

Why not the other options?

* A. Points are awarded at the minimum threshold: RP credits require achieving the base credit, not just the minimum threshold.

* B. Points are awarded at the maximum threshold: Points are awarded for exceeding the maximum threshold, not just meeting it.

Reference: LEED Reference Guide for Homes Design and Construction, v4, Regional Priority Credits, p. 190.

The LEED AP Homes Candidate Handbook emphasizes RP credits and exemplary performance, referencing the LEED Reference Guide for Homes Design and Construction as a key resource. The exam is based on LEED v4, ensuring the relevance of exceeding thresholds.

References:

LEED Reference Guide for Homes Design and Construction, v4, USGBC, Regional Priority Credits, p. 190; Innovation Credit: Innovation, p. 190.

LEED v4.1 Residential BD+C, USGBC LEED Credit Library, accessed via LEED Online (<https://www.usgbc.org/credits>).

LEED AP Homes Candidate Handbook, GBCI, October 2024, p. 12 (references study resources and exam scope based on LEED v4).

USGBC LEED for Homes Rating System (v4), available via USGBC website (<https://www.usgbc.org/resources/leed-homes-design-and-construction-v4>).

LEED v4.1 for Homes, USGBC, accessed via LEED Online, confirming exemplary performance criteria.

NEW QUESTION # 68

An existing home in a gut rehab LEED for Homes project reclaims all of the original framing. An addition is built with 90% FSC-certified wood. Which credit, if any, under Materials and Resources, will be earned?

- A. No credit will be awarded
- B. Construction Waste Management
- C. Material-Efficient Framing
- D. Environmentally Preferable Products

Answer: D

Explanation:

The LEED for Homes Rating System (v4) includes several credits under the Materials and Resources (MR) category that encourage sustainable material use, including reclaimed materials and certified wood. The scenario describes a gut rehab project that reclaims all original framing and builds an addition with 90% FSC-certified wood. We need to determine which MR credit applies.

According to the LEED Reference Guide for Homes Design and Construction (v4), the MR Credit:

Environmentally Preferable Products rewards the use of materials that have environmentally beneficial attributes, such as reclaimed materials and FSC (Forest Stewardship Council)-certified wood.

MR Credit: Environmentally Preferable Products (1-4 points)

Use products that meet one or more of the following criteria for at least 25%, 50%, or 90% (by cost) of the total materials in the project:

* Reused or salvaged materials: Materials that are reclaimed from the same or another project.

* FSC-certified wood: Wood products certified by the Forest Stewardship Council for sustainable forestry practices. For gut rehab projects, reclaimed framing materials and FSC-certified wood in additions contribute to the percentage of environmentally preferable products. Source: LEED Reference Guide for Homes Design and Construction, v4, Materials and Resources Credit: Environmentally Preferable Products, p. 160.

In this case:

* Reclaimed framing: The gut rehab reclaims 100% of the original framing, which qualifies as reused or salvaged materials under the credit.

* FSC-certified wood: The addition uses 90% FSC-certified wood, which also qualifies as an environmentally preferable product. The LEED v4.1 Residential BD+C rating system aligns with this approach:

MR Credit: Environmentally Preferable Products

Projects earn points by using products that are salvaged, recycled, or FSC-certified for at least 25%, 50%, or 90% of the material cost. For renovations, salvaged framing and certified wood in additions are eligible.

Source: LEED v4.1 Residential BD+C, Credit Library, accessed via USGBC LEED Online.

Since the project uses both reclaimed framing (100% of the original) and 90% FSC-certified wood in the addition, it meets the criteria for Environmentally Preferable Products, provided the combined material cost meets the 25%, 50%, or 90% thresholds. The high percentage of FSC-certified wood and full reclamation of framing make it likely to achieve at least one point.

Why not the other options?

Reference: LEED Reference Guide for Homes Design and Construction, v4, MR Credit: Construction Waste Management, p. 164. B). No credit will be awarded: This is incorrect, as the use of reclaimed framing and FSC-certified wood directly contributes to the Environmentally Preferable Products credit.

C). Material-Efficient Framing: This credit rewards practices that reduce framing material use, such as advanced framing techniques (e.g., 24-inch on-center stud spacing) or minimizing waste during design.

Reclaiming framing or using FSC-certified wood does not address framing efficiency. Reference: LEED Reference Guide for Homes Design and Construction, v4, MR Credit: Material-Efficient Framing, p. 158.

The LEED AP Homes Candidate Handbook confirms that the exam tests MR credits, including Environmentally Preferable Products, and references the LEED Reference Guide for Homes Design and Construction as a primary resource. The exam is based on LEED v4, ensuring the relevance of this credit.

References:

LEED Reference Guide for Homes Design and Construction, v4, USGBC, Materials and Resources Credit: Environmentally Preferable Products, p. 160.

LEED v4.1 Residential BD+C, USGBC LEED Credit Library, accessed via LEED Online (<https://www.usgbc.org/credits>).

LEED AP Homes Candidate Handbook, GBCI, October 2024, p. 12 (references study resources and exam scope based on LEED v4).

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LEED v4.1 for Homes, USGBC, accessed via LEED Online, confirming environmentally preferable product criteria.

NEW QUESTION # 69

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