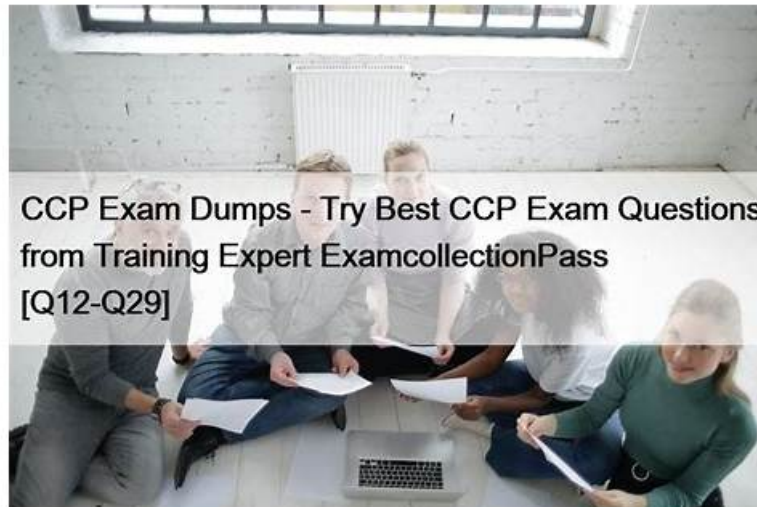


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CMAA Certified Construction Manager (CCM) Sample Questions (Q57-Q62):

NEW QUESTION # 57

An agency CM is assigned to a new construction project using the CMAA A-2 Standard Form of Agreement between owner and contractor. The project is experiencing concurrent critical path delays caused by the contractor and the architect. What is the BEST guidance the agency CM could give the owner for dealing with these events?

- A. The owner should charge the contractor daily liquidated damages.
- B. The owner should plan for delayed completion.
- C. Direct both the architect and GC to mitigate each delay and have the agency CM perform a schedule impact analysis to allocate delay responsibility.

- D. The architect and GC should be directed to add resources to mitigate each of their delays at no additional cost to the owner.

Answer: C

Explanation:

Under CMAA's Time Management and Risk Management domains, when concurrent delays arise from different responsible parties (e.g. architect and contractor), the CM should perform a schedule impact analysis to apportion responsibility and guide mitigation. The CM should instruct both parties to mitigate their individual delays within their responsibilities. This approach helps the owner understand cost/time consequences, negotiate or handle claims, and manage risk.

Option A is defeatist (accept delay without mitigation). Option C expects cost absorption by parties without analysis and may be unfair or contractually unsupported. Option D (liquidated damages) addresses contractor delay penalties but does not address architect-caused delay or concurrent delay complexities. The A-2 form is neutral; it does not automatically allow penalizing the contractor when both parties are at fault. The CM's best role is to analyze impacts and assist in allocation of responsibility—thus B is best.

NEW QUESTION # 58

When applying BIM to a project, which method checks for interferences by searching for intersecting volumes?

- A. BIM Integration
- B. Virtual Design and Construction (VDC)
- C. Parametric Modeling
- **D. Clash Detection**

Answer: D

Explanation:

In the BIM domain, clash detection is the process by which software analyses models to find geometric interferences—i.e. overlapping or intersecting volumes between different building elements or systems. This method helps reveal conflicts in the spatial design (for example, a pipe intersecting a beam) before construction, thus avoiding costly corrections in the field.

None of the other options specifically address the detection of intersecting volumes:

BIM Integration refers to the combining of different discipline models into a shared environment, not necessarily the conflict checking itself.

Parametric Modeling is a method of defining model geometry through parameters and rules, but does not inherently detect clashes.

Virtual Design and Construction (VDC) is a broader process of using digital modeling and simulation across the design/construction lifecycle; clash detection is a component of it, but the specific method for interference checking is "clash detection."

NEW QUESTION # 59

BIM best assists the CM with

- A. developing drawings and facility management.
- B. managing time, safety, quality, and facility operations.
- C. gathering energy, cost, facility maintenance, safety, and spatial data.
- **D. planning, coordination, and control of the project.**

Answer: D

Explanation:

The CMAA Standards of Practice and CMAA Best Practices Guide for Building Information Modeling (BIM) identify the CM's use of BIM as a tool for:

"Planning, coordination, and control of design and construction activities, integrating project information, and improving communication among all participants." BIM provides visualization and data integration to support project coordination, sequencing, clash detection, logistics planning, and schedule validation. Although BIM can contain data about cost, energy, and maintenance, its primary value to the CM lies in improving project planning, coordination, and control across disciplines during design and construction.

Thus, the correct answer is B. planning, coordination, and control of the project.

References:

CMAA Construction Management Standards of Practice, Chapter 2 - Project Management, Section: "Use of Technology and BIM." CMAA Best Practices Guide for Building Information Modeling, Sections 1.1-2.3.

NEW QUESTION # 60

During the design phase of a project, the owner had requested the design team develop mitigating strategies due to expected budget concerns. During the procurement process, the agency CM should advise the owner consider

- A. incorporating Add/Deduct Alternates into the bid documents.
- B. evaluating Schedule Alternates in the bid documents.
- C. evaluating Phase Alternates in the bid documents.
- D. incorporating Time and Material Alternates into the bid documents.

Answer: A

Explanation:

The CMAA Standards of Practice (Chapter 3 - Cost Management) identifies Add/Deduct Alternates as a common strategy to manage potential budget fluctuations. The SOP explains:

"Alternates, both additive and deductive, provide flexibility to adjust project scope to available funding at the time of bid or negotiation." This allows the owner to maintain control over project cost while preserving key design intent. Time and material alternates are not typical bid mechanisms, and phase or schedule alternates do not directly address budget mitigation.

References (CMAA Construction Manager Documents / Study Guide):

CMAA Construction Management Standards of Practice, 2010 Edition, Chapter 3 - Cost Management, Section "Design Phase Cost Control and Alternates." CMAA CM Study Guide, Cost Management Domain, Objective 3.2: "Develop cost management strategies including alternates, allowances, and contingencies."

NEW QUESTION # 61

As the owner's rep, a CM is providing on-site construction management services to a municipality for their new design-build city mall project.

The state requires a 40-hour value engineering workshop for all projects over \$10 million. What are the key talking points about the VE process that the CM will highlight to the city's director of public works?

- A. Scope reduction will reduce overall project budget.
- B. A multi-discipline review on functions and alternate solutions.
- C. Life cycle and maintenance costs should not be considered.
- D. Interface with the design-build team is not needed at this time.

Answer: B

Explanation:

Value Engineering (VE) is intended to improve value by optimizing the relationship between function, cost, and life-cycle performance. The CM would emphasize that VE is a multi-discipline review of project functions and alternate design solutions to reduce cost without sacrificing essential performance. In a proper VE workshop, participants from multiple disciplines review function, identify alternatives, and propose changes.

The incorrect choices are:

A is wrong because life cycle and maintenance costs should be considered - VE should look beyond initial cost to long-term costs.

C is simplistic: while scope reduction is one possible result, VE is not merely scope cutting but exploring alternatives to maintain functionality at lower cost.

D is incorrect, because interfacing with the design-build team is essential - VE must involve the DB team to ensure proposed changes are implementable and integrated.

NEW QUESTION # 62

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