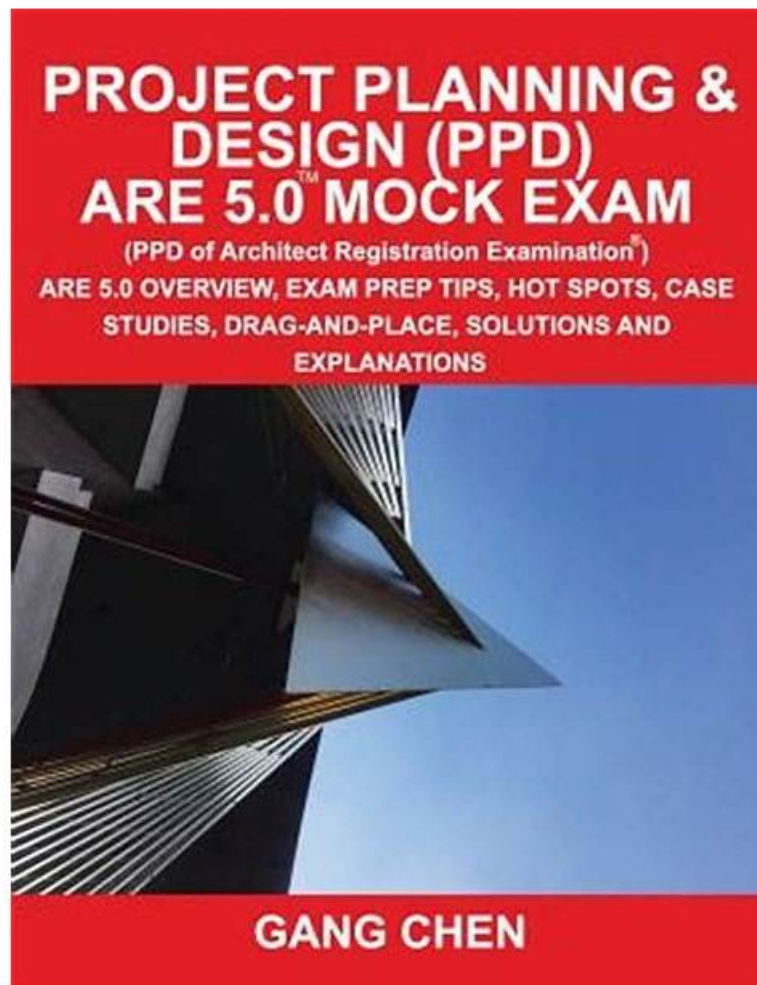


Free PDF Quiz 2026 Project-Planning-Design - ARE 5.0 Project Planning & Design (PPD) Simulation Questions



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NCARB Project-Planning-Design Exam Syllabus Topics:

Topic	Details
Topic 1	<ul style="list-style-type: none"> • Project Integration of Program & Systems: This section of the exam measures skills of project architects and focuses on integrating decisions about environmental conditions, codes, and building systems into one cohesive project design. It highlights how to configure the building and incorporate both program requirements and contextual conditions in a unified design approach.
Topic 2	<ul style="list-style-type: none"> • Project Costs & Budgeting: This section of the exam measures skills of architectural designers and assesses the ability to evaluate design alternatives based on program goals, perform cost evaluations, and manage cost considerations throughout the design process.
Topic 3	<ul style="list-style-type: none"> • Building Systems, Materials, & Assemblies: This section of the exam measures skills of architectural designers and covers the understanding of building systems such as mechanical, electrical, and plumbing, along with structural and specialty systems. It also involves selecting appropriate materials and assemblies to align with program needs, budgets, and regulations.

Topic 4	<ul style="list-style-type: none"> • Codes & Regulations: This section of the exam measures the skills of project architects and focuses on applying zoning laws, environmental rules, and building codes during the planning stage. Candidates are tested on how to integrate multiple regulatory requirements into a project's design effectively.
Topic 5	<ul style="list-style-type: none"> • Environmental Conditions & Context: This section of the exam measures skills of architectural designers and covers how to use site analysis information to determine building placement and environmental planning decisions. It emphasizes applying sustainable principles and considering the neighborhood context to guide project design.

>> Project-Planning-Design Simulation Questions <<

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NCARB ARE 5.0 Project Planning & Design (PPD) Sample Questions (Q16-Q21):

NEW QUESTION # 16

Which of the following strategies is most appropriate for a new shopping center to be constructed on a nearly flat site flowing into a municipal subsurface storm-drainage system that is at capacity during a 5-year storm?

- A. Conducting all site drainage along the curbs of service streets
- **B. Grading roads, locating buildings, and sizing culverts to create retention basins**
- C. Extending the storm sewers to catch basins in all roads and drives in the development
- D. Sectioning, sizing, and pitching drainage ways, culverts, and basins to reduce runoff time

Answer: B

Explanation:

Comprehensive and Detailed Explanation From Exact Extract:

When the municipal storm-drain system is at capacity during frequent storms, site design must incorporate on-site stormwater management to reduce runoff and delay peak flows.

Option B is the most effective strategy: grading the site and positioning buildings and infrastructure to create retention basins allows water to be temporarily stored on site, reducing the volume and rate of runoff entering the municipal system. This also aids in groundwater recharge and helps comply with stormwater management regulations.

Extending storm sewers (A) without capacity improvements only increases burden on an already overloaded system.

Reducing runoff time (C) can exacerbate peak flows by quickly directing water to the storm drains.

Conducting drainage along curbs (D) is standard but does not solve capacity issues if the municipal system is overloaded.

Thus, on-site retention and detention through basin creation is preferred.

References:

ARE 5.0 PPD - Environmental Conditions and Context, Site and Stormwater Design The Architect's Handbook of Professional Practice, 15th Edition - Site Planning and Stormwater Management

NEW QUESTION # 17

Which of the following roofing types is the most appropriate for installation during below-freezing weather conditions on a roof with less than a 2:12 slope?

- A. A self-sealing shingle roof
- B. A cold-tar built-up roof
- **C. A ballasted EPDM roof**

Answer: C

Explanation:

Comprehensive and Detailed Explanation From Exact Extract:

Low-slope roofs (< 2:12) require roofing materials suitable for flat or nearly flat conditions:

Cold-tar built-up roofs (A) are difficult to install in freezing weather because the tar cannot be applied or cured properly in cold temperatures.

Self-sealing shingles (B) are generally used on steeper slopes and depend on heat to activate the sealing strips, making them unsuitable for low slopes and cold weather.

Ballasted EPDM (C) is a single-ply synthetic rubber membrane that can be installed in a variety of weather conditions, including below-freezing temperatures. The ballast (usually gravel) holds the membrane in place on low slopes and does not rely on adhesives or heat curing.

Therefore, ballasted EPDM is the most appropriate.

References:

ARE 5.0 PPD - Building Systems and Assemblies, Roofing Materials and Systems The Architect's Handbook of Professional Practice, 15th Edition - Roofing

NEW QUESTION # 18

During design development of a new college laboratory facility, the owner asks the architect to include way-finding signage mounted adjacent to doors. The type of signage requested will project into the corridors of the building.

Which of the following should the architect consider when selecting the signage? Check the three that apply.

- A. IBC exit width requirements
- B. Signage material and finish type
- C. ADA accessibility requirements
- D. Manufacturer installation information
- E. Local zoning ordinance on signage
- F. International Energy Code

Answer: A,C,D

Explanation:

Comprehensive and Detailed Explanation From Exact Extract:

When signage projects into corridors:

ADA requirements (A) ensure signage is accessible to all, including those with disabilities.

IBC exit width requirements (B) ensure projected signage does not reduce required egress widths.

Manufacturer installation information (F) guides proper, safe mounting and compliance with structural requirements.

Zoning (D) is generally for exterior signage.

Energy code (E) is not related.

Material and finish (C) affect aesthetics but not code compliance.

References:

ARE 5.0 PPD - Codes and Regulations, Accessibility

The Architect's Handbook of Professional Practice, 15th Edition - Signage Design

NEW QUESTION # 19

Which of the following is the most appropriate action for the architect to take in preparing a construction cost estimate for an owner after completing the schematic design phase?

- A. Vary the amount of the contingency allowance depending on the funds in the possession of the owner.
- B. Double the contingency allowance for profit if the owner requires the use of a construction manager.
- C. Include a larger contingency percentage for the design development phase than for the construction document phase.
- D. Provide the greatest contingency allowance in the construction administration phase.

Answer: C

Explanation:

Comprehensive and Detailed Explanation From Exact Extract:

Contingency allowances should be larger during the earlier phases (such as schematic design) due to greater unknowns and potential design changes. As the design progresses and more details are defined, contingency can be reduced.

Varying contingency based on owner funds (B) is inappropriate.
 Contingency during construction administration (C) is typically lower.
 Doubling contingency for CM use (D) is not standard practice.

References:

ARE 5.0 PPD - Project Costs and Budgeting

The Architect's Handbook of Professional Practice, 15th Edition - Cost Estimating

NEW QUESTION # 20

**TABLE 508.4
REQUIRED SEPARATION OF OCCUPANCIES (HOURS)^a**

OCCUPANCY	A, E		I-1, I-3, I-4		I-2		R ^b		F-2, S-2 ^c , U		B ^d , F-1, M, S-1		H-1		H-2		H-3, H-4		H-5		
	S	NS	S	NS	S	NS	S	NS	S	NS	S	NS	S	NS	S	NS	S	NS	S	NS	
A, E	N	N	1	2	2	NP	1	2	N	1	1	2	NP	NP	3	4	2	3	2	NP	
I-1, I-3, I-4	1	2	N	N	2	NP	1	NP	1	2	1	2	NP	NP	3	NP	2	NP	2	NP	
I-2	2	NP	2	NP	N	N	2	NP	2	NP	2	NP	NP	NP	3	NP	2	NP	2	NP	
R ^b	1	2	1	NP	2	NP	N	N	2	NP	1	2	NP	NP	3	NP	2	NP	2	NP	
F-2, S-2 ^c , U	N	1	1	2	2	NP	1	2	N	N	1	2	NP	NP	3	4	2	3	2	NP	
B ^d , F-1, M, S-1	1	2	1	2	2	NP	1	2	1	2	N	N	NP	NP	2	3	1	2	1	NP	
H-1	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	N	NP	NP	NP	NP	NP	NP	NP	
H-2	3	4	3	NP	3	NP	3	NP	3										NP	1	NP
H-3, H-4	2	3	2	NP	2	NP	2	NP	2										NP	1	NP
H-5	2	NP	2	NP	2	NP	2	NP	2										NP	N	NP

S = Buildings equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.1.
 NS = Buildings not equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.1.
 N = No separation requirement.
 NP = Not Prescribed.
 a. See Section 420.
 b. The required separation from areas used only for private or pleasure vehicles shall be reduced by 1 hour but not to less than 1 hour.
 c. See Sections 406.3.2 and 406.5.4.
 d. Separation is not required between occupancies of the same classification.
 e. See Section 422.
 f. Occupancy separation required in Chapter 9 for requiring fire protection systems shall also comply with Section 707.3.10 and Table 707.3.11.

A new, sprinklered, mid-rise office building of Type II-A construction has a ground-level restaurant and offices above. The restaurant has an A-2 occupancy and the offices have a B occupancy. The architect needs to provide fire separation between the two occupancy types and select the most cost-efficient floor/ceiling assembly option. Which one of the following assemblies is most appropriate?

- A. 1-hour-rated assembly with open web steel joists @ 24" o.c.
- B. 1-hour-rated assembly with 2 x 10 wood joists
- C. 2-hour-rated assembly with lightweight precast concrete

Answer: A

Explanation:

Comprehensive and Detailed Explanation From Exact Extract:

According to IBC Table 508.4, with sprinklers installed throughout (S), a 1-hour fire separation is required between A-2 and B occupancies in Type II-A construction.

Open web steel joists (C) can be used in 1-hour-rated assemblies, providing cost efficiency and structural flexibility.

Wood joists (A) might not meet Type II-A non-combustible requirements.

2-hour-rated precast concrete (B) is more costly than needed per code.

Thus, option C balances code compliance and cost.

References:

IBC Table 508.4

ARE 5.0 PPD - Codes and Regulations, Fire Separation

The Architect's Handbook of Professional Practice, 15th Edition - Fire-Resistive Construction

NEW QUESTION # 21

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