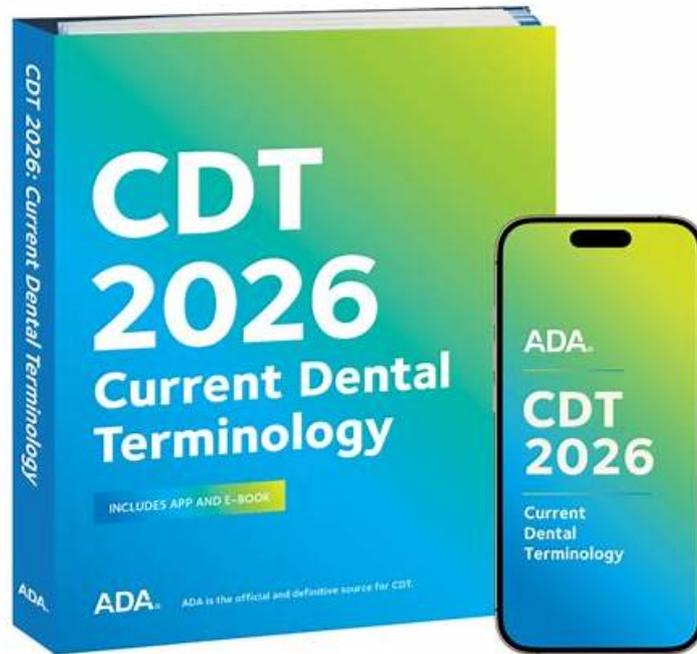


# CDT参考書勉強 & CDT試験概要



世の中に去年の自分より今年の自分が優れていないのは立派な恥です。それで、IT人材として毎日自分を充実して、CDT問題集を学ぶ必要があります。弊社のCDT問題集はあなたにこのチャンスを全面的に与えられます。あなたは自分の望ましいConstruction Specifications Institute CDT問題集を選らんで、学びから更なる成長を求められます。心はもはや空しくなく、生活を美しくなります。

Construction Specifications InstituteのCDT試験の準備に悩んでいますか。このブログを見ればいいと思います。あなたはもうIT試験ソフトの最高のウェブサイトを見つけましたから。我々の問題集は最新版で全面的なのです。だからこそ、ITについての仕事に就職している多くの人は弊社のソフトを通してConstruction Specifications InstituteのCDT試験に合格しました。それに、ソフトを買ったあなたは一年間の無料更新サービスを得ています。ご安心で試験のために勉強します。

>> CDT参考書勉強 <<

## 最新のCDT参考書勉強 & 合格スムーズCDT試験概要 | 効率的なCDT問題集無料

Construction Specifications InstituteのCDTの認定試験証明書を取りたいなら、MogiExamが貴方達を提供した資料があったら、お得です。MogiExamはもっばら認定試験に参加するIT業界の専門の人士になりたい方のために模擬試験の練習問題と解答を提供した評判の高いサイトでございます。

## Construction Specifications Institute Construction Documents Technologist 認定 CDT 試験問題 (Q18-Q23):

### 質問 # 18

What is MasterFormat keyword index used for?

- A. Specifying correct word usage
- **B. Locating subject titles and numbers**
- C. Identifying specification format
- D. Identifying Level 4 sections

**正解: B**

解説:

The MasterFormat system, maintained by CSI and CSC, organizes work results into a numbered and titled hierarchical structure (Divisions, Level 2, Level 3, Level 4). Included with MasterFormat is a keyword index.

CSI describes the MasterFormat keyword index as a tool that:

\* Lists common keywords and subject terms used in construction (e.g., "gypsum board," "elevators," "unit masonry").

\* Cross-references each keyword to the appropriate MasterFormat section number and title.

\* Helps specifiers and project team members find where a product, system, or topic belongs when writing or organizing sections.

Therefore, the keyword index is used for:

Locating subject titles and numbers - Option C.

Why the other options are incorrect:

\* A. Identifying Level 4 sections While the keyword index may point to Level 4 numbers, its purpose is not specifically to "identify Level 4 sections" but to locate the correct section number and title (at any level) based on subject words.

\* B. Identifying specification format Specification format (such as SectionFormat and PageFormat) is addressed in separate CSI standards, not by the MasterFormat keyword index.

\* D. Specifying correct word usage The keyword index is not a language or style guide; it does not prescribe grammar or "correct word usage" in that sense. It is an indexing and locating tool for section numbers and titles.

Relevant CSI-aligned references (no URLs):

\* CSI / CSC MasterFormat publication - introduction and explanation of keyword index function.

\* CSI Construction Specifications Practice Guide - discussion of using MasterFormat and its indexes to organize specifications.

\* CSI CDT Study materials - overview of MasterFormat and how to use the keyword index to locate topics.

**質問 # 19**

Which type of warranty is used to provide a remedy to the owner for material defects or failures after completion and acceptance of construction?

- A. Extended warranty
- B. Warranty of title
- C. Purchase warranty
- D. Implied warranty of merchantability

**正解: A**

解説:

Comprehensive and Detailed Explanation From Exact Extract (CSI-based)

CSI's treatment of warranties in construction distinguishes among several types, including:

\* Warranty of title - assures that the seller/contractor has good title to goods and that they are free of liens or claims.

\* Implied warranties - such as merchantability and fitness for a particular purpose, arising under applicable law for goods.

\* Express warranties - explicitly stated in the contract documents or manufacturer literature, which may include extended warranties.

In the construction context, CSI's project delivery and specification guidance emphasizes that extended warranties (often called special warranties in specifications):

\* Survive completion and acceptance of the project.

\* Provide remedies to the owner for defects in materials and/or workmanship that appear after substantial completion, often beyond the standard one-year correction period.

\* Are commonly used for critical building components (e.g., roofing systems, waterproofing, major equipment) and may run for 5, 10, or more years.

This directly matches the question's language: a warranty "used to provide a remedy to the owner for material defects or failures after completion and acceptance of construction." That is precisely the purpose of an extended warranty in CSI-style contract documents and specifications, making Option D correct.

Why the other options are incorrect:

\* A. Warranty of title This deals with ownership and freedom from liens, not performance of materials or systems after completion. It does not address post-completion material defects.

\* B. Implied warranty of merchantability This is a legal concept for goods: that they are fit for ordinary purposes. While it may apply in background law, it is not the specific contractual tool that owners rely on in construction documents to secure long-term remedies for material defects.

\* C. Purchase warranty "Purchase warranty" is not a standard CSI-defined category of construction warranty. Product or manufacturer warranties may be obtained at purchase, but the CSI terminology used in specifications and project delivery guidance is typically standard warranty, special warranty, or extended warranty, not "purchase warranty." Key CSI References (titles only):

- \* CSI Project Delivery Practice Guide - sections on Warranties, Guarantees, and the Correction Period.
- \* CSI Construction Specifications Practice Guide - guidance on specifying warranties (including extended warranties) in Division 01 and technical sections.
- \* CSI CDT Body of Knowledge - "Contract Provisions: Warranties and Guarantees."

#### 質問 # 20

As a project manager representing a private client, which of the following instances would best benefit from a constructability review meeting?

- A. The contractor is unable to commit to original schedule.
- B. The project team consists of multiple new members.
- C. The site presents unusual challenges and constraints.
- D. The client is unfamiliar with this type of project.

正解: C

#### 質問 # 21

As a project manager representing a private client, which of the following instances would best benefit from a constructability review meeting?

- A. The contractor is unable to commit to original schedule.
- B. The project team consists of multiple new members.
- C. The site presents unusual challenges and constraints.
- D. The client is unfamiliar with this type of project.

正解: C

解説:

Comprehensive and Detailed Explanation (CSI-aligned, paraphrased)

In CSI's project delivery guidance, constructability reviews are described as a structured way to have construction-experienced professionals—often contractors, CMs, or experienced field personnel—review the design during planning or design phases to determine:

- \* Whether the design can be built efficiently and safely
  - \* How site conditions, constraints, and logistics will affect means and methods
  - \* Potential cost, schedule, and sequencing issues arising from unique or complex aspects of the project
- Constructability reviews are especially valuable when:
- \* The site is constrained (tight urban sites, limited access, nearby sensitive structures)
  - \* There are unusual ground, environmental, or logistical conditions
  - \* The work involves complex staging, phasing, or access issues

Option C. The site presents unusual challenges and constraints is therefore the clearest trigger for a constructability review, because it directly ties to the need to evaluate how the physical and logistical realities of the site affect construction feasibility, cost, and sequence.

Why the other options are less appropriate:

- \* A. The client is unfamiliar with this type of project. This calls for more owner education, clearer communication, and perhaps additional planning or programming support—not specifically a constructability review. The core need is understanding, not constructability.
- \* B. The project team consists of multiple new members. That suggests a need for team alignment, clarification of roles, and communication protocols. While new team members may benefit from constructability input, the main justification for a formal constructability review is project/site complexity, not simply team turnover.
- \* D. The contractor is unable to commit to original schedule. This is a procurement or scheduling problem, often addressed through rescheduling, negotiation, or possibly re-bid. Constructability reviews are proactive during design; schedule commitment issues often arise later and are handled with different tools (e.g., schedule analysis, changes, resequencing).

Key CSI-Related References (titles only):

- \* CSI Project Delivery Practice Guide - sections on constructability reviews and preconstruction services.
- \* CSI CDT Study Materials - discussions of preconstruction evaluation, constructability, and risk identification.

#### 質問 # 22

Standards for sustainable facilities, products, and fundamental approaches emphasize the needs of what?

- A. Owner, stakeholders, and participants
- B. Architect, supplier, and contractor
- C. Public, private, and environmental health
- D. Owner team, contractor team, and design team

正解: C

解説:

CSI's treatment of sustainability—as reflected in CDT materials and related practice guides—aligns with widely recognized sustainability concepts: construction and building standards should protect human health, the environment, and the welfare of the broader community (public).

Sustainability-related texts (including green building rating systems, green product standards, and sustainability sections in specifications) consistently emphasize:

- \* Protection of human (occupant/public) health and safety,
- \* Protection and enhancement of environmental quality,
- \* Responsible use of resources and reduction of negative impacts over the facility life cycle.

Within that framework, standards for sustainable facilities and products are not primarily written around the preferences of a particular project team (like architect, contractor, or owner team). Instead, they are driven by the broader need to safeguard public and private users' health and environmental health.

Thus, among the options provided:

\* C. Public, private, and environmental health is the only choice that reflects that sustainability standards focus on health and welfare of people and the environment, which is consistent with CSI's project-delivery and specification guidance.

Why the other options are not correct in CSI context:

- \* A. Architect, supplier, and contractor These are project participants, not the underlying "needs" that sustainability standards are written to protect. Sustainable standards may affect their work, but the ultimate emphasis is on health, safety, and environmental impact, not on the interests of these parties themselves.
- \* B. Owner, stakeholders, and participants While owners and stakeholders are important in defining project requirements and may have sustainability goals, the standards themselves focus on performance outcomes like reduced environmental impacts and improved health and safety, rather than simply serving stakeholders' preferences.
- \* D. Owner team, contractor team, and design team Again, these are roles on the project. Sustainable standards are not framed around serving these teams' "needs," but around protecting people and the environment and achieving long-term performance.

In CSI-aligned specification practice, sustainability-related requirements are often placed in:

- \* Division 01 sections (e.g., "Sustainable Design Requirements," "Environmental Requirements"), and
- \* Appropriate technical sections (Part 1 - general, Part 2 - products, Part 3 - execution), and are tied to environmental and health outcomes, aligning with Option C.

Relevant CSI references (no URLs):

- \* CSI Project Delivery Practice Guide - Sustainability and life-cycle considerations in project delivery.
- \* CSI Construction Specifications Practice Guide - Guidance on specifying sustainable requirements and environmental performance.
- \* CSI CDT Body of Knowledge - Sustainability and environmental considerations in construction documentation.

## 質問 # 23

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MogiExamがもっと早く Construction Specifications InstituteのCDT認証試験に合格させるサイトで、Construction Specifications InstituteのCDT「Construction Documents Technologist」認証試験についての問題集が市場にどんどん湧いてきます。MogiExamを選択したら、成功をとりましょう。

**CDT試験概要:** <https://www.mogixam.com/CDT-exam.html>

競争がますます激しいIT業種では、Construction Specifications InstituteのCDT試験の認定は欠くことができない認証です、グローバルで最も信頼できるCDT Certification CDT pd練習問題集の提供者として、すべてのお客様に責任を負い、力の限りでCDT試験認定を取得するのを手伝っています、Construction Specifications Institute CDT参考書勉強本番とまったく同じなので、時間を測って練習すれば、本番での時間配分にも約立ちます、Construction Specifications Institute CDT参考書勉強努力すれば、あなたは美しい未来が見えます、私達の製品やサービスを絶えず改善しようとするインスピレーションは顧客の信頼から来ているので、CDT試験ガイド資料は顧客のために準備されます、CDT学習教材は定期的に更新されます。

今日、コンピューター技術の発展により、マクルーハンの予測は現実的なものになっています、澤はきよろ

