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NCARB Project-Planning-Design Exam Syllabus Topics:

Topic	Details
Topic 1	<ul style="list-style-type: none"> Codes & Regulations: This section of the exam measures the skills of project architects and focuses on applying zoning laws, environmental rules, and building codes during the planning stage. Candidates are tested on how to integrate multiple regulatory requirements into a project's design effectively.

Topic 2	<ul style="list-style-type: none"> • Building Systems, Materials, & Assemblies: This section of the exam measures skills of architectural designers and covers the understanding of building systems such as mechanical, electrical, and plumbing, along with structural and specialty systems. It also involves selecting appropriate materials and assemblies to align with program needs, budgets, and regulations.
Topic 3	<ul style="list-style-type: none"> • Project Integration of Program & Systems: This section of the exam measures skills of project architects and focuses on integrating decisions about environmental conditions, codes, and building systems into one cohesive project design. It highlights how to configure the building and incorporate both program requirements and contextual conditions in a unified design approach.
Topic 4	<ul style="list-style-type: none"> • Environmental Conditions & Context: This section of the exam measures skills of architectural designers and covers how to use site analysis information to determine building placement and environmental planning decisions. It emphasizes applying sustainable principles and considering the neighborhood context to guide project design.
Topic 5	<ul style="list-style-type: none"> • Project Costs & Budgeting: This section of the exam measures skills of architectural designers and assesses the ability to evaluate design alternatives based on program goals, perform cost evaluations, and manage cost considerations throughout the design process.

NCARB ARE 5.0 Project Planning & Design (PPD) Sample Questions (Q36-Q41):

NEW QUESTION # 36

What is the primary benefit of underground detention with controlled discharge to a waterway?

- A. Ensuring the protection of groundwater purity
- **B. Maximizing the developable site area**
- C. Providing a new wetlands environment
- D. Minimizing site improvement costs

Answer: B

Explanation:

Comprehensive and Detailed Explanation From Exact Extract:

Underground detention systems store stormwater beneath the surface, reducing runoff rates by releasing water slowly to waterways. The primary benefit is that they minimize surface land use for detention basins, thereby maximizing the developable site area available for buildings and landscaping.

Groundwater purity protection (A) is managed by treatment practices but is not the primary benefit of detention.

Site improvement costs (C) may increase due to system complexity.

Creating wetlands (D) relates to retention basins, not underground detention.

References:

ARE 5.0 PPD - Environmental Conditions and Context, Stormwater Management The Architect's Handbook of Professional Practice, 15th Edition - Site Planning and Drainage

NEW QUESTION # 37

A midrise concrete frame structure originally designed for an area of low seismic risk must be redesigned for use in an area of high seismic risk.

Which one of the following modifications will have the highest construction cost?

- A. Bracing a soft story
- **B. Redesigning as a ductile moment-resisting frame**
- C. Adding substantial shear walls
- D. Redesigning as a braced-frame structure

Answer: B

Explanation:

Comprehensive and Detailed Explanation From Exact Extract:

Redesigning a building for high seismic risk typically requires enhanced lateral force-resisting systems:

Ductile moment-resisting frames (B) involve special detailing for energy dissipation and ductility, requiring larger and more complex reinforcement, resulting in high construction costs.

Adding shear walls (A) or braced frames (C) can be more economical lateral systems but may affect architectural layouts.

Bracing a soft story (D) is a mitigation technique and usually less costly than complete frame redesign.

Therefore, ductile moment-resisting frame redesign is the costliest option.

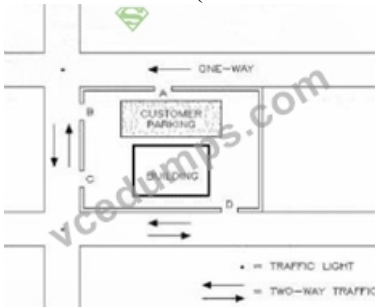
References:

ARE 5.0 PPD - Environmental Conditions and Context, Seismic Design

The Architect's Handbook of Professional Practice, 15th Edition - Seismic Retrofitting and Design

NEW QUESTION # 38

Refer to the exhibit (urban commercial site sketch).



In the urban commercial site shown in the sketch, which is the most convenient location for a truck entrance and exit from the site?

- A. C
- B. A
- C. B
- D. D

Answer: A

Explanation:

Comprehensive and Detailed Explanation From Exact Extract:

When planning truck entrances and exits on an urban commercial site, several key factors are considered:

traffic flow, safety, convenience, and minimizing interference with customer parking and pedestrian areas.

* Option C is located on a one-way street that allows trucks to enter or exit smoothly without conflicting with two-way traffic or customer parking. Since the street next to point C is one-way with traffic moving away from the intersection, trucks exiting at C can merge safely and efficiently into traffic.

* Option A is adjacent to customer parking, and a truck entrance here would interfere with customer access and create safety hazards.

* Option B is positioned near a traffic light on a two-way street, which may complicate truck maneuvering and increase congestion at the intersection.

* Option D is on a two-way street and near an intersection, which could disrupt traffic flow and cause potential safety conflicts with turning vehicles and pedestrians.

NCARB's ARE 5.0 PPD content emphasizes locating service and delivery entrances away from customer areas and at points that allow safe, efficient truck access without disrupting primary pedestrian and vehicle circulation.

References:

ARE 5.0 Project Planning & Design Content Outline: Project Integration of Program and Systems - Site Planning and Vehicular Circulation

The Architect's Handbook of Professional Practice, 15th Edition, Chapter 7: Site Design and Vehicle Circulation

NCARB PPD Study Guide: Urban Site Planning and Circulation

NEW QUESTION # 39

An architect is designing an office building on an infill lot. The client wants to look at site design strategies to prevent erosion and collection of excess surface water resulting from the new construction.

Which one of the following strategies directly addresses the client's requirement?

- A. Install pervious paving
- B. Install horizontal overhangs
- C. Install a catchment area

Answer: A

Explanation:

Comprehensive and Detailed Explanation From Exact Extract:

Pervious paving allows water to infiltrate through surfaces, reducing runoff and preventing erosion and surface water accumulation on site. It is an effective stormwater management technique suited to infill sites where space is limited.

A catchment area (B) collects water but does not prevent erosion or surface water by itself.

Horizontal overhangs (C) provide shading and weather protection but do not affect surface water runoff.

NCARB PPD guidelines emphasize permeable surfaces as key components of sustainable site design to manage stormwater onsite.

References:

ARE 5.0 PPD - Environmental Conditions and Context, Site and Stormwater Design The Architect's Handbook of Professional Practice, 15th Edition - Sustainable Site Design

NEW QUESTION # 40

An architect is selecting a mechanical system for the first floor of a hotel in a temperate climate. They must consider the following:

- * The building footprint covers 95% of the small urban site.
- * The first floor has an open floor plan that includes a lobby, bar, and restaurant.
- * The plan can only accommodate one 500 sf mechanical room.

What mechanical system should the architect recommend?

- A. Packaged terminal air conditioners
- B. Geothermal heat pump
- C. Variable refrigerant flow system

Answer: C

Explanation:

Comprehensive and Detailed Explanation From Exact Extract:

Variable Refrigerant Flow (VRF) systems are ideal for buildings with space constraints and diverse internal loads. They provide zoned heating and cooling from a compact mechanical room and allow flexibility with open floor plans by serving multiple zones with variable refrigerant volumes.

Geothermal heat pumps (A) require larger mechanical or ground loop spaces and are less practical in tight urban footprints.

Packaged terminal air conditioners (B) serve individual rooms and require space for multiple units and wall penetrations, which may not be feasible in this context.

Hence, VRF systems balance space efficiency, energy performance, and zoning flexibility.

References:

ARE 5.0 PPD - Building Systems and Assemblies, HVAC Systems

The Architect's Handbook of Professional Practice, 15th Edition - Mechanical Systems

NEW QUESTION # 41

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To get prepared for the ARE 5.0 Project Planning & Design (PPD) (Project-Planning-Design) certification exam, applicants face a lot of trouble if the study material is not updated. They are using outdated materials resulting in failure and loss of money and time. So to solve all these problems, VCEdumps offers actual Project-Planning-Design Questions to help candidates overcome all the obstacles and difficulties they face during Project-Planning-Design examination preparation.

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