

Pass Guaranteed Quiz 2026 Construction Specifications Institute CDT: Construction Documents Technologist-Efficient Real Exam Questions

CSI CDT EXAM QUESTIONS WITH 100% ACCURATE ANSWERS

Owner - Accurate answers Principle stakeholder - initiates project, assumes risk, provides funding

AHJ - Authorities Having Jurisdiction - Accurate answers Protect public health, safety and welfare

Design Team - Accurate answers Address planning issues, determine design program, identify codes and regulations, produce procurement and construction documents, administer construction contract, "provide QA/QC procedures"

Contractor Team - Accurate answers Entity that constructs a facility. Uses management abilities to gather labor forces, subs, and material/product/equipment suppliers

Supplier Team - Accurate answers Furnishes the materials and products for the facility to be constructed. Fabricator, Distributor, Manufacturer, Supplier.

Facility Life Cycle - Accurate answers The life cycle of a facility, from concept through construction to use and eventual deconstruction.

Project Conception

Project Delivery

Design

Construction Documents

Procurement (Bidding/Negotiating/Purchasing)

Construction

Facility Management

Project Conception - Accurate answers Transforms the needs of owner into clear concept on which project can be designed. Feasibility Study, Programming, Site Selection, Budgeting.

Project Delivery - Accurate answers Determine delivery method to be used. Factors - qualifications, experience, capacity, project extent, time requirements.

Design - Accurate answers Two Phases: schematic design and design development. Deliverables include graphic and written design documents and estimates of project cost.

Schematic Design - Accurate answers Overall relationships and functions. Site plan and area, general size/shape/massing of elements, elevations and exteriors established, conceptual design criteria identified.

Deliverables - schematic drawings, probable cost, preliminary schedules

Design Development - Accurate answers Technical issues of constructability and integration of systems and components.

Deliverables - Tech information, outline specifications, updated schedule, updated cost estimate.

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Construction Specifications Institute Construction Documents Technologist Sample Questions (Q81-Q86):

NEW QUESTION # 81

When the specifications allow controlled substitutions, a substitution may be approved during the bidding period only if what?

- A. Specifications are revised and reissued to include the substitution
- B. The proposer of the substitution is notified in writing
- **C. An addendum is issued to all the bidders**
- D. The architect/engineer accepts the substitution during the pre-bid meeting

Answer: C

Explanation:

Comprehensive and Detailed Explanation From Exact Extract (CSI-aligned, paraphrased) CSI emphasizes fairness, clarity, and equal information for all bidders. When controlled substitutions are permitted during bidding, the procedure typically described in Division 01 and the Instructions to Bidders is:

- * A bidder or manufacturer may propose a substitution for a specified product within a defined time before bid date.
- * The architect/engineer reviews the proposed substitution and may accept or reject it.
- * If the substitution is accepted, it must be communicated to all prospective bidders in a formal way so that every bidder is pricing the same requirements.

The correct formal mechanism during the bid period for changing procurement documents is an addendum.

Therefore:

- * A substitution may be approved during bidding only if its approval is issued by an addendum to all bidders.
- * This maintains a level playing field and prevents one bidder from having a private advantage or a different scope basis than others.
- Why the other options are not sufficient or correct alone:
 - * B. The proposer of the substitution is notified in writingNotifying only the proposer does not put all bidders on the same basis. CSI stresses that changes affecting price, scope, or products must be distributed to all bidders via addenda during the procurement phase.
 - * C. The architect/engineer accepts the substitution during the pre-bid meetingEven if verbally accepted in a pre-bid meeting, it must be officially documented by an addendum. Pre-bid meeting minutes alone are not a proper modification of the procurement documents unless they are explicitly issued as part of an addendum
 - * D. Specifications are revised and reissued to include the substitutionCompletely revising and reissuing specifications is not the usual or efficient method during a normal bid period. Instead, CSI practice is to use addenda to modify the existing specifications. On larger changes, an addendum may include revised pages, but the key formal instrument remains the addendum

Therefore, in CSI-aligned bidding procedures, a substitution can be approved during bidding only when it is issued to all bidders as an addendum, making Option A the correct answer.

Key CSI-Related References (titles only, no links):

- * CSI Project Delivery Practice Guide - procurement process, bidder communications, and substitutions.
- * CSI Construction Specifications Practice Guide - Division 01 sections on Substitution Procedures and Instructions to Bidders regarding substitutions.
- * CSI CDT Study Materials - controlled substitutions during bidding and the role of addenda.

NEW QUESTION # 82

Which document obligates the architect/engineer to review submittals during construction administration?

- A. AIA Document A201, General Conditions of the Contract for Construction
- **B. AIA Document B101, Standard Form of Agreement Between Owner and Architect**
- C. AIA Document D200, Project Checklist
- D. AIA Document G612, Owners Instructions to the Architect

Answer: B

Explanation:

In CSI/CDT study materials, a key concept is that each party's legal obligations come from their own agreement:

* The owner-contractor relationship is defined in the Owner-Contractor Agreement and its General Conditions (commonly AIA A201).

* The owner-architect relationship is defined in the Owner-Architect Agreement (commonly AIA B101).

The architect's duty to provide construction administration services, including reviewing submittals, is a service owed to the owner and is therefore set out in the Owner-Architect Agreement, not the General Conditions.

In AIA's standard structure (which CSI uses extensively in CDT):

* AIA B101 (Owner-Architect Agreement) lists the architect's basic services, including:

* Construction Phase Services

* Review of submittals (shop drawings, product data, samples, etc.) This is what legally obligates the architect to review submittals as part of their contracted services to the owner.

* AIA A201 (General Conditions) describes the architect's role in the context of the construction contract between owner and contractor (e.g., the architect will review submittals in accordance with the Contract Documents), but the architect's obligation itself arises from B101, which is the contract between owner and architect.

Therefore, the document that actually obligates the architect/engineer (A/E) to perform submittal review as part of construction administration is AIA Document B101 # Option B.

Why the other options are incorrect:

* A. AIA Document A201, General Conditions of the Contract for Construction A201 is part of the Owner-Contractor contract. It establishes procedures and the architect's function with respect to the contractor, but it does not itself create the architect's contractual obligation to the owner; that comes from B101. A201 can describe what the architect will do "as provided in the Owner-Architect Agreement," but the promise from the architect is in B101.

* C. AIA Document D200, Project Checklist D200 is a non-contractual guide/checklist used for planning and scoping services. It is an aid, not a contract, and does not bind the architect to perform submittal review.

* D. AIA Document G612, Owners Instructions to the Architect G612 is also a form tool, used for gathering owner's instructions and information; it is not itself the agreement that defines the architect's scope of services and obligations.

CSI / CDT-aligned references (no links):

* CSI Project Delivery Practice Guide - discussions of standard AIA documents and how responsibilities are allocated between owner, architect, and contractor.

* CSI Construction Specifications Practice Guide - sections on relationships between A201 and B101.

* CDT Exam references to AIA A201 - General Conditions and AIA B101 - Owner-Architect Agreement in the "Agreements & Conditions of the Contract" domain.

NEW QUESTION # 83

An architect/engineer wants to schedule monthly meetings with a contractor and owner to discuss matters pertinent to timely and successful completion of the work. Which type of meeting should they schedule?

- A. Progress meeting
- B. Preinstallation meeting
- C. Schedule monitoring meeting
- D. Workflow meeting

Answer: A

Explanation:

CSI/CDT identifies several formal construction phase meetings, each with a specific purpose. Among them:

* Preconstruction conference - Held at the start of the project.

* Preinstallation meetings - Held before specific portions of work begin (e.g., roofing, curtain wall, concrete).

* Progress meetings (job meetings) - Held regularly (often weekly or monthly) during the construction phase to review overall project status, schedule, coordination issues, and actions needed.

A progress meeting is defined in A201/Division 01 and CSI guidance as a recurring meeting of the owner, contractor, architect/engineer, and key parties to:

- * Review work progress and status of the schedule
- * Address issues affecting timely and successful completion of the work
- * Coordinate upcoming activities and resolve questions or conflicts
- * Review submittals, RFIs, changes, and other administrative matters

That is exactly what the question describes: monthly meetings with the contractor and owner focused on timely and successful completion. This matches Option C - Progress meeting.

Why the other options are incorrect:

* A. Workflow meeting "Workflow meeting" is not a standard CSI or AIA term for a formal contract- phase meeting. While teams may hold internal coordination meetings, the recognized contract-related recurring meeting in CSI/AIA practice is the progress

meeting, not "workflow meeting."

* B. Preinstallation meeting Preinstallation meetings (sometimes called "pre-installation conferences") are task- or trade-specific, held before a particular system or portion of work begins (e.g., roofing, masonry, fire protection). They focus on that specific work's requirements, sequencing, and coordination-not on overall project progress each month. Therefore, they do not match the general monthly, whole-project focus described in the question.

* D. Schedule monitoring meeting While progress meetings certainly involve schedule review and monitoring, "schedule monitoring meeting" is not the standard CSI/AIA term for the regular contract administration meeting among owner, contractor, and A/E. In standard contract documents and CSI references, the recognized name is "progress meeting." CSI / CDT-aligned references (no links):

* CSI Project Delivery Practice Guide - discussions of construction phase meetings, including preconstruction, preinstallation, and progress meetings.

* CSI Construction Specifications Practice Guide - Division 01 sections for "Project Management and Coordination" / "Construction Progress Meetings."

* CDT content referencing AIA A201 and Division 01 provisions for regular progress meetings and their agendas.

NEW QUESTION # 84

Peer reviews or internal reviews of completed documents are examples of what?

- A. Quality assurance
- B. Construction administration
- C. Commissioning
- D. Quality control

Answer: D

Explanation:

Within CSI's project delivery and construction documents framework, quality control (QC) refers to activities that check and verify the accuracy and completeness of the work product itself-in this case, the drawings, specifications, and other parts of the project manual before they are issued for bidding or construction.

* Peer reviews and internal reviews of completed documents are performed after the documents have been prepared, specifically to find and correct errors, omissions, conflicts, or lack of coordination.

* These reviews examine the end product of the documentation process (the drawings and specifications), checking conformance with office standards, project requirements, code requirements, and coordination between disciplines.

* CSI distinguishes this from quality assurance (QA), which focuses on the systems and procedures used to produce the documents (such as standard checklists, training, and office procedures). QC, by contrast, is concerned with reviewing the actual deliverables. Therefore, activities like peer review of completed drawings and specifications, internal checking of finished sections, and coordination review of the project manual are classic examples of quality control tasks, not commissioning, QA-in-the-abstract, or construction administration.

* Commissioning (B) focuses on verifying that systems and equipment are installed, tested, and performing according to the contract documents near project completion-not on checking design documents in the office.

* Quality assurance (C) is the broader system of policies, procedures, and standards that aim to prevent errors, such as standard templates, firm-wide procedures, and training; the act of reviewing specific completed documents falls under QC.

* Construction administration (D) includes responding to RFIs, reviewing submittals, processing change orders, and site visits during construction; it is not the term CSI uses for internal checking of design documents.

Key CSI-aligned references (no URLs):

* CSI Project Delivery Practice Guide - chapters on Quality Management, Design Phase, and Construction Documents.

* CSI Construction Specifications Practice Guide - content on quality assurance vs. quality control in construction documentation.

* CSI CDT Body of Knowledge - sections on document coordination, reviews, and quality processes.

NEW QUESTION # 85

Which of the following is a scaled view?

- A. Isometric
- B. Perspective
- C. Foundation plan
- D. Riser diagram

Answer: C

Explanation:

In CSI-based drawing conventions, a scaled view is one drawn at a stated scale so that actual dimensions can be measured directly from the drawing (e.g., 1:100, 1/4" = 1' 0"). CSI's Uniform Drawing System (UDS) treats floor plans, roof plans, and foundation plans as primary orthographic views prepared at a defined scale for dimensioning and coordination between disciplines. These are the standard "working drawings" for construction.

* Foundation plan (Option B)A foundation plan is an orthographic plan view drawn to a specific scale showing footings, slabs, and foundations with dimensions and notes. It is intended for measurement and layout, and CSI references it as one of the basic scaled plan views of the project drawings.

Why the other options are not correct:

* A. Perspective - Perspectives are pictorial views used for visualization and presentation. CSI notes that such views are typically not used for taking dimensions and may not be drawn to a true working scale.

* C. Riser diagram - Riser diagrams (for plumbing, fire protection, electrical, etc.) are diagrammatic, showing relationships and routing, not physical locations at scale. They are expressly identified as "not to scale" in most construction document standards.

* D. Isometric - Isometric drawings are a type of pictorial/axonometric view used to show three- dimensional relationships. While they can sometimes be constructed proportionally, CSI's guidance treats them as diagrammatic/pictorial views rather than the primary scaled working views used for dimensioning work in the field.

CSI References (no links):

* CSI Uniform Drawing System (UDS) modules on drawing types and views (plan, elevation, section, diagrammatic views).

* CSI Project Delivery Practice Guide - discussion of scaled plan views as part of the construction documents set.

NEW QUESTION # 86

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