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### NCARB Project-Planning-Design Exam Syllabus Topics:

Topic	Details
Торіс 1	Building Systems, Materials, & Assemblies: This section of the exam measures skills of architectural designers and covers the understanding of building systems such as mechanical, electrical, and plumbing, along with structural and specialty systems. It also involves selecting appropriate materials and assemblies to align with program needs, budgets, and regulations.
Торіс 2	Project Costs & Budgeting: This section of the exam measures skills of architectural designers and assesses the ability to evaluate design alternatives based on program goals, perform cost evaluations, and manage cost considerations throughout the design process.
Topic 3	<ul> <li>Environmental Conditions &amp; Context: This section of the exam measures skills of architectural designers and covers how to use site analysis information to determine building placement and environmental planning decisions. It emphasizes applying sustainable principles and considering the neighborhood context to guide project design.</li> </ul>

Topic 4	Codes & Regulations: This section of the exam measures the skills of project architects and focuses on applying zoning laws, environmental rules, and building codes during the planning stage. Candidates are tested on how to integrate multiple regulatory requirements into a project's design effectively.
Topic 5	Project Integration of Program & Systems: This section of the exam measures skills of project architects and focuses on integrating decisions about environmental conditions, codes, and building systems into one cohesive project design. It highlights how to configure the building and incorporate both program requirements and contextual conditions in a unified design approach.

>> New Project-Planning-Design Exam Objectives <<

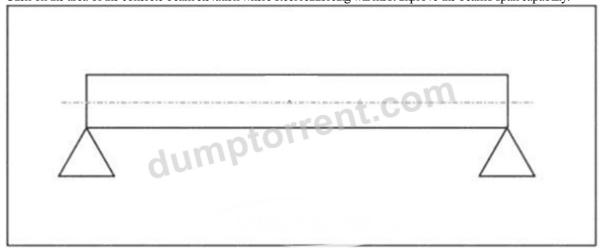
# Top New Project-Planning-Design Exam Objectives | High Pass-Rate Project-Planning-Design: ARE 5.0 Project Planning & Design (PPD) 100% Pass

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## NCARB ARE 5.0 Project Planning & Design (PPD) Sample Questions (Q75-Q80):

#### **NEW QUESTION #75**

Click on the area of the concrete beam elevation where steel reinforcing will most improve the beam's span capability.



#### Answer:

Explanation:





#### **NEW OUESTION #76**

Comprehensive recycling of materials from building demolition is primarily limited by which one of the following?

- A. Technical difficulties of recycling more than 20% of demolition material
- B. Difficulty associated with specifying recycling requirements
- C. Lack of market for some recycled materials such as concrete and steel
- D. Relatively high labor costs compared to cost of raw materials

#### Answer: D

#### Explanation:

Comprehensive and Detailed Explanation From Exact Extract:

Although recycling building materials is environmentally beneficial, the relatively high labor costs for sorting, processing, and handling recycled materials often limit comprehensive recycling efforts. Raw materials can be cheaper, discouraging extensive recycling unless incentives or regulations exist.

Technical difficulties (A) and market availability (D) have been improved over time.

Specifying recycling (C) is a design phase task but is not the primary practical limitation.

References:

ARE 5.0 PPD - Environmental Conditions and Context, Sustainable Design

The Architect's Handbook of Professional Practice, 15th Edition - Demolition and Recycling

#### **NEW QUESTION #77**

An architect is designing a multistory student housing project to be built of light wood framing. The following criteria must be met: Minimize the floor assembly thickness

Maximize ceiling height

No individual HVAC room controls

No exposed ductwork

Which HVAC system should be selected for this project?

- A. Packaged terminal units (PTAC)
- B. Four-pipe fan-coil system
- C. Variable air volume (VAV)

#### Answer: B

#### Explanation:

For multistory residential buildings such as student housing with light wood framing, HVAC system selection must balance space constraints and occupant comfort. The requirement to minimize floor thickness and maximize ceiling height typically rules out bulky ductwork or ceiling-mounted systems.

Packaged Terminal Air Conditioners (PTACs) provide individual room control and require wall penetrations, conflicting with the "no individual HVAC room controls" and likely leading to more complex maintenance.

Variable Air Volume (VAV) systems typically require extensive ductwork and ceiling space, contradicting the goal to minimize floor thickness and eliminate exposed ductwork.

The Four-pipe fan-coil system is an efficient choice for this application: it uses small fan coil units within the ceiling or wall cavities

with chilled and hot water supply pipes running vertically. This system minimizes the thickness of mechanical floors and allows centralized control rather than individual room controls. The fan coil units can be concealed, addressing the "no exposed ductwork" criterion.

This approach aligns with NCARB's guidance on HVAC system selection for multifamily and residential occupancies where ceiling height and floor thickness are critical constraints, and centralized control systems are preferred for ease of maintenance and energy management.

References:

ARE 5.0 PPD Study Guide - Building Systems and Assemblies

The Architect's Handbook of Professional Practice, 15th Edition - Mechanical Systems NCARB Guidelines on HVAC Systems for Residential Buildings

#### **NEW QUESTION #78**

A new gallery is being built and requires shading elements to protect the light-sensitive artwork on display. Which of the following are design criteria relevant to the design of shading components on the west facade of the new gallery? Check the three that apply.

- A. Solar Heat Gain Coefficient of the west glazing
- B. Annual temperature data
- C. Height of the west gallery wall
- D. Low-E glazing on the west facade
- E. Survey of adjacent building heights
- F. Spacing and depth of vertical louvers

#### Answer: A,C,F

Explanation:

Comprehensive and Detailed Explanation From Exact Extract:

For shading design on west facades:

Height of the wall (A): Determines the scale and proportion of shading devices.

Solar Heat Gain Coefficient (SHGC) of glazing (C): Influences how much solar radiation passes through windows.

Spacing and depth of vertical louvers (D): Controls shading effectiveness against low-angle afternoon sun.

Low-E glazing (E) helps but is glazing performance, not shading design.

Annual temperature (B) is climatic but less directly relevant.

Adjacent building heights (F) influence shading from surroundings but are secondary.

References:

ARE 5.0 PPD - Environmental Conditions and Context, Solar Control

The Architect's Handbook of Professional Practice, 15th Edition - Sustainable Design

### NEW QUESTION # 79

An architect has just received client approval of the Schematic Design documents for a three-story, outpatient medical clinic. The clinic is located within a mixed-use development governed by a City-approved Planned Development (PD) document. The medical clinic design utilizes standardized departmental layouts and includes outpatient clinics, as well as treatment spaces, administrative spaces and public/lobby spaces.

The site needs to accommodate four different vehicular traffic flows: patient traffic, staff traffic, service and delivery traffic, and emergency services traffic. In addition, a pedestrian plaza must connect to the mixed-use development sidewalks. The plaza must provide space for bicycle parking and will serve as the future bus stop.

The site design addresses several challenges related to building orientation. The southeast facade, with excellent visibility from the highway, is the location of all service equipment. The building entrance faces northwest, convenient to the parking but not visible from the highway.

The client believes future patient volumes will outgrow the clinic. The PD document allows for a planned Phase 2 development on the adjacent vacant site to the southwest. Phase 2 would include a second building (2 story, 80,000 BGSF) and/or a parking deck. Other considerations for the project include:

- \* Protected tree requirements are defined in the PD document.
- \* Easy pedestrian access must be provided from Sycamore Boulevard.
- \* All required parking for the clinic must be accommodated on site.
- \* Programmed area includes 109,450 Departmental Gross Square Feet (DGSF) / 130,184 Building Gross Square Feet (BGSF).
- \* Exterior material percentages are dictated by the PD document and shall not exceed specific percentages for Primary and

#### Secondary Finishes.

- \* All service equipment needs to be screened; see PD document for restrictions.
- \* Signage opportunities are important to the client.
- \* Acoustical privacy is a concern of the healthcare system.

The following resources are available for your reference:

- \* Drawings, including a perspective, plans, and exterior elevations
- \* Building Program, including client's departmental program and detailed program for Treatment 01 (Infusion)
- \* Exterior Material Cost Comparisons
- \* Planned Development Document
- \* IBC Excerpts, showing relevant code sections
- \* ADA Excerpts, showing relevant sections from the ADA Standards for Accessible Design During the city planning review process, the city planner discovers that two of the building elevations deviate from the building design requirements set forth in the Planned Development Document. The owner is granted a variance for only one of the non-compliant facades. The facade must face the Pedestrian Access Easement.
  - A. Southeast Elevation
  - B. Northwest Elevation
  - C. Northeast Elevation
  - D. Southwest Elevation

#### Answer: B

#### Explanation:

The northwest elevation faces the Pedestrian Access Easement as per site and plan documents.

Variances for facade non-compliance are typically granted where they impact the pedestrian experience.

Therefore, the facade requiring the variance must face this easement to comply with PD and planning conditions.

The other elevations (A, C, D) do not face the pedestrian access and thus do not qualify.

References:

Planned Development Document

City Planning Review Documentation

ARE 5.0 PPD - Codes and Regulations, Planned Developments

#### NEW QUESTION # 80

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