

PDD Test Study Guide - PDD Answers Real Questions

PDD Study Exam 1 Questions & Answers 2024/2025

When should an architect submit drawings to the proper planning and permitting authority to begin the approval process? - ANSWERSAfter DD phase once a set of drawings has been prepared specifically for permitting purposes

SW - ANSWERSMost durable brick and acceptable for use when exposed to freeze-thaw cycles when wet or when bricks are in contact with ground

MW or MX - ANSWERSBrick is acceptable where it will not be exposed to freeze-thaw cycles when wet. Lower compressive strength than SW brick

NW or NX - ANSWERSBrick that acceptable when it will never be exposed to cold or damp conditions such as when used indoors

FBS - ANSWERSbrick for general use in masonry

FBX - ANSWERSbrick for general use in masonry where requirements call for a higher degree of precision and low or permissible variation in size than permitted for FBS

FBA - ANSWERSBrick for general use in masonry selected to produce characteristics architectural effects resulting from nonuniformity in size and texture of the individual units

A701 - ANSWERSAddenda will be issued no later than four days prior to the date for receipt of Bids except an addendum with drawing the request for bids or one which includes postponement of the date for receipt of bids.

During the bidding period for a new sports complex, the architect receives a request for information from one of the bidding contractors. The architect determines that the construction documents need to be revised.

The web-based ARE 5.0 Project Development and Documentation Exam PDD practice exam is also compatible with Chrome, Microsoft Edge, Internet Explorer, Firefox, Safari, and Opera. If you want to assess your PDD Test Preparation without software installation, the PDD web-based practice exam is ideal for you. And NCARB offers 365 days updates.

NCARB PDD Exam Syllabus Topics:

Topic	Details
Topic 1	<ul style="list-style-type: none">Codes & Regulations: This section of the exam measures skills of Building Code Specialists and examines how codes and regulations apply at a detailed level during documentation. Candidates are expected to demonstrate knowledge of compliance with the International Building Code (IBC) as well as other specialty regulations, as well as how to interpret and apply these standards to ensure design and documentation meet legal and safety requirements.
Topic 2	<ul style="list-style-type: none">Project Manual & Specifications: This section of the exam measures the skills of Specifications Writers and emphasizes the importance of developing documentation that goes beyond drawings. Candidates must understand how to identify and prioritize elements needed to prepare, maintain, and refine both the project manual and project specifications. It also assesses the ability to align and coordinate these specifications with the construction documents to ensure consistency and accuracy.

Topic 3	<ul style="list-style-type: none"> Construction Documentation: This section of the exam measures skills of Project Architects and addresses the creation and management of project documentation. Candidates are expected to demonstrate knowledge of documenting building design and site features, preparing detailed architectural drawings, and applying industry standards to produce a coordinated set of construction documents. The section also includes understanding how project changes impact documentation and how to communicate these updates effectively to both the design team and the client.:
Topic 4	<ul style="list-style-type: none"> Integration of Building Materials & Systems: This section of the exam measures the skills of Architectural Designers and focuses on the ability to resolve and integrate various building systems into cohesive project goals. It covers analyzing architectural systems and technologies, determining the size of structural, mechanical, electrical, and plumbing systems, and incorporating specialty systems such as acoustics, lighting, security, and communications. It also evaluates the ability to detail how multiple building systems work together and to coordinate across disciplines to achieve a unified design.
Topic 5	<ul style="list-style-type: none"> Construction Cost: This section of the exam measures the skills of Construction Managers and focuses on the financial side of project execution. It evaluates the ability to analyze construction cost estimates to confirm that they align with project design intent and budgetary constraints. Although this is the smallest section, it is critical for ensuring projects remain feasible and economically viable.

>> **PDD Test Study Guide <<**

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NCARB ARE 5.0 Project Development and Documentation Exam Sample Questions (Q16-Q21):

NEW QUESTION # 16

A family-owned apple farm in the Upper Midwest is taking advantage of a change in the local zoning code that added a new Agri-Tourism class in the existing farm zone. This allows the Owner to build a new facility on their existing site. The building will be open to the public and include a brewery, distillery, tap room, and market. The architect is ready to submit the drawings to the Owner for the 50% construction documents review.

To accommodate a compressed construction schedule, the Owner will be utilizing a design-build process. The Contractor has submitted the Pre-Engineered Metal Building (PEMB) shop drawings to the Architect for review, due to the lead time on this critical path item. Once construction begins, farming operations must be able to continue uninterrupted.

Key project information includes:

- * Brewing and distilling will operate year-round.
 - * Brewery will initially include four fermenting tanks. Owner has requested space for at least two additional tanks. Potential expansion will be based on future sales.
 - * Distillery will produce 16% alcohol, which is classified as a flammable liquid. Fire separations are required.
 - * Tap Room is designed with seating for 300 people, not including exterior patio seating. It will have views to the working orchards and the historic buildings on site.
 - * Tap Room is scheduled to be open from August through November. Owner would like options to extend operating dates based on popularity.
 - * The Market area will feature local farm products and is not conditioned.
 - * Entire building will be fully sprinklered.
 - * Selected building materials are low-maintenance, as requested by the Owner, for durability and to reflect the nature of a working farm.
 - * Mechanical and electrical systems will be hung from the building structure. These loads are included in PEMB shop drawings.
 - * Public water and sewer is not available at the Project Site.
 - * Occupancy sensors are included to reduce utility costs and achieve energy conservation requirements.
- The following resources are available for your reference:
- * Architectural Drawings, including plans, elevations, sections, and schedules

- * Consultant Drawings, including structural, HVAC, power distribution, and plumbing
- * PEMB Shop Drawings
- * Design and Construction Schedule
- * Specification Excerpts, showing relevant spec sections
- * IBC and ADA Excerpts, showing relevant code and accessibility sections
- * After reviewing the documents, the architect discovers a coordination issue in the corridor.

The owner requests that the metal panel skin be changed to EIFS.

Which of the following architectural sheets require changes to the notes and/or details? Check the three that apply.

- A. A-03
- B. A-06
- C. A-00
- D. A-02
- E. A-07
- F. A-04

Answer: A,B,E

Explanation:

Elevations (A-03): material callouts, notes, and textures for every façade.

Wall sections (A-06): assembly build-ups change (continuous insulation, drainage plane, WRB, attachment to PEMB girts, control joints, weeps, and terminations).

Details (A-07): heads/sills/jambs, base of wall/grade, parapet, expansion and control joints, and transition flashing details must be revised for EIFS.

Sheets like A-00 (cover) or A-02 (plans) generally don't carry the envelope system specifics and would not need detail changes for a cladding swap.

PDD refs: Drawings coordination-plans vs. elevations vs. sections/details; Division 07 EIFS system requirements; PEMB cladding interfaces.

NEW QUESTION # 17

DEFINITION OF SPACE	DEPARTMENT LOAD FACTOR
Assembly, storage areas, mechanical/mechanical room	35 gross
Administrative/lobbying	35 gross
Architectural/lobby	35 gross
Autumn terminal	
Baggage room	35 gross
Baggage handling	35 gross
Building areas	35 gross
Business areas	
Classroom (class, office, etc.)	35 gross
External gallery and mezzanine	35 net
Assembly, event, tent areas	
Assembly, audience, theater areas	
Concession (public only and food)	7 net
Display space	7 net
Exhibition (public only)	15 net
Meeting rooms, office, classrooms for teach time, networking, 1/2 load of members, and for administrative areas	7 net
Business areas	
Classroom (class, office, etc.)	35 gross
Concession—other than food, beverage areas	35 gross, 35 net, 35 net
Concession—other than food, beverage areas	35 net
Day care	35 net
Demolition	35 gross
Exhibition	
Exhibition areas	35 net
Storage and other educational room areas	35 net
Exercise rooms	35 gross
Concession (public only, food, beverage areas)	35 gross

Refer to the exhibit.

An architect is designing a multipurpose room that will operate daycare services as well as exercise classes.

The multiple occupancies within the space utilize components of the same means of egress system.

What is the occupant load factor that should be used in calculating egress?

- A. 0
- B. 1
- C. 2
- D. 3

Answer: A

Explanation:

Step-by-Step Reasoning

1. Identify the occupancies from the question:

* Day care services # Occupant load factor = 35 net (from table in the exhibit)

* Exercise classes # Occupant load factor = 50 gross (also from table in the exhibit, under "Exercise room")

2. Determine how to calculate the occupant load for multiple occupancies:

According to IBC 2018, Section 1004.1.2 (Areas without fixed seating) and NCARB PDD study materials:

When multiple occupancies share the same means of egress system, the occupant load for the whole space shall be the sum of the occupant loads of the various occupancies.

However, if the space is not divided and is used interchangeably (multipurpose), the most stringent occupant load factor is applied to the entire area.

3. Applying the code:

* The multipurpose room is used for both daycare and exercise.

* Since the same space is used for different functions at different times (not divided), the most restrictive occupant load factor (the smaller number) should be used.

* Smaller occupant load factor = 35 net (Day care) vs. 50 gross (Exercise room).

4. Why "net" vs. "gross" matters here:

* Net floor area excludes certain spaces like walls, corridors, mechanical rooms.

* Gross floor area includes the entire footprint.

* Even though "net" typically results in a smaller area, when calculating load factors, the smaller occupant load factor number results in a larger occupant load - making it more restrictive for egress.

5. Conclusion:

The correct occupant load factor to use for this multipurpose space = 35 net (Day care), as it results in the largest occupant load and is the most restrictive for egress design.

NCARB ARE 5.0 PDD Study Guide References:

* Content Area: Code Analysis - Occupant Load & Egress Sizing

* IBC 2018, Section 1004.1.2 - Areas without fixed seating, determining occupant load for multiple functions

* Architectural Graphic Standards - Occupant Load Calculation examples

* Building Codes Illustrated by Ching & Winkel - Chapter on Occupancy Load Factors and Egress Requirements

NEW QUESTION # 18

What is the primary purpose of shop drawings?

- A. Replace construction drawings
- B. Define design intent
- C. Illustrate fabrication and installation methods
- D. Document record drawings

Answer: C

Explanation:

Shop drawings show how components are to be fabricated or installed by the contractor. They do not redefine the design intent but elaborate on it. Refer to Objective 3.4: Evaluate submittals.

NEW QUESTION # 19

In which of the following locations should wood building products be pressure treated when used in a climate that promotes decay? Check the four that apply.

- A. Wood window casing less than 24 inches above grade
- B. Wood members at grade, below grade, or less than 8 inches above grade
- C. Wood members used in conjunction with roofing or flashing
- D. Wood doors in contact with thresholds
- E. Wood members in contact with masonry or concrete
- F. Wood siding closer than 6 inches to exterior finish grade

Answer: A,B,E,F

Explanation:

The IBC and AWPA (American Wood Protection Association) standards require pressure treatment of wood in decay-prone climates when in contact with moisture-retaining materials (masonry/concrete), near grade, or within splash zones.

A: Moisture can wick from masonry/concrete into wood # decay risk.

B: Close proximity to soil promotes decay/insect activity.

D: Siding <6" above grade risks splashback and prolonged wetting.

E: Window casings <24" above grade are exposed to rain splash.

C: Roofing/flashng interface doesn't require PT unless actual contact with wet substrate is expected.

F: Doors with thresholds don't require PT unless the door bottom is wood in constant wetting.

PDD Reference: IBC §2304.11; ARE 5.0 PDD "Materials-Wood decay & termite resistance."

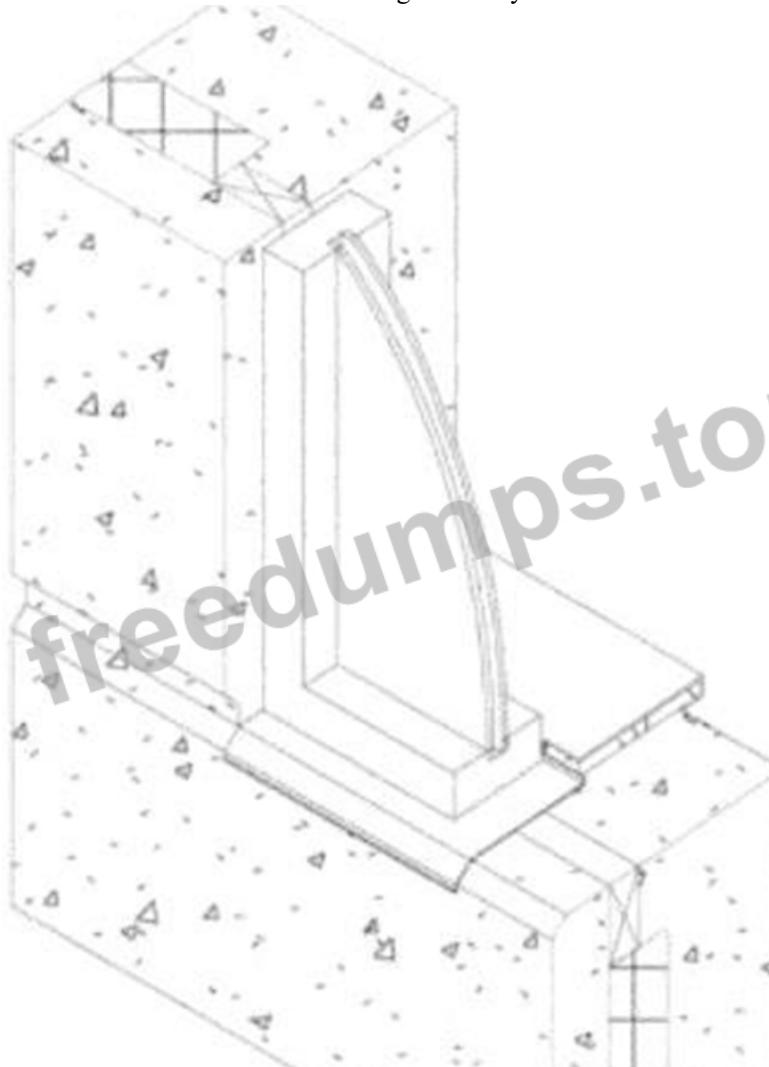
NEW QUESTION # 20

Material	Unit	Cost per Unit	Quantity	Total
Architectural Precast Panels	SF	\$ 35.00	15500	\$ 192,500.00
Aluminunium Storefront Windows	SF	\$ 55.00	1200	\$ 66,000.00
Prefinished Metal Sill Flashing	LF	\$ 10.00	120	\$ 1,200.00
Sealant	LF	\$ 2.00	480	\$ 960.00

Refer to the exhibit.

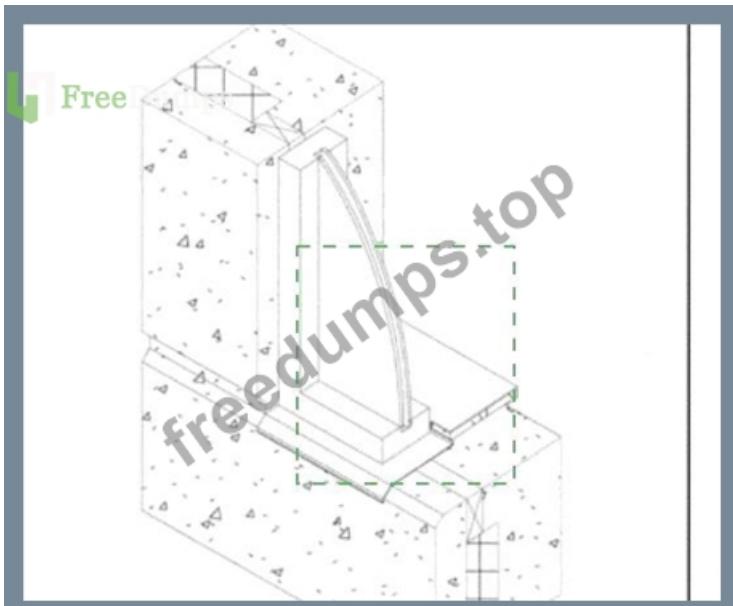
An architect reviews the construction manager's construction estimate for a typical precast wall system with aluminum storefront windows.

Click on the component in the axonometric detail that is missing from the system estimate.

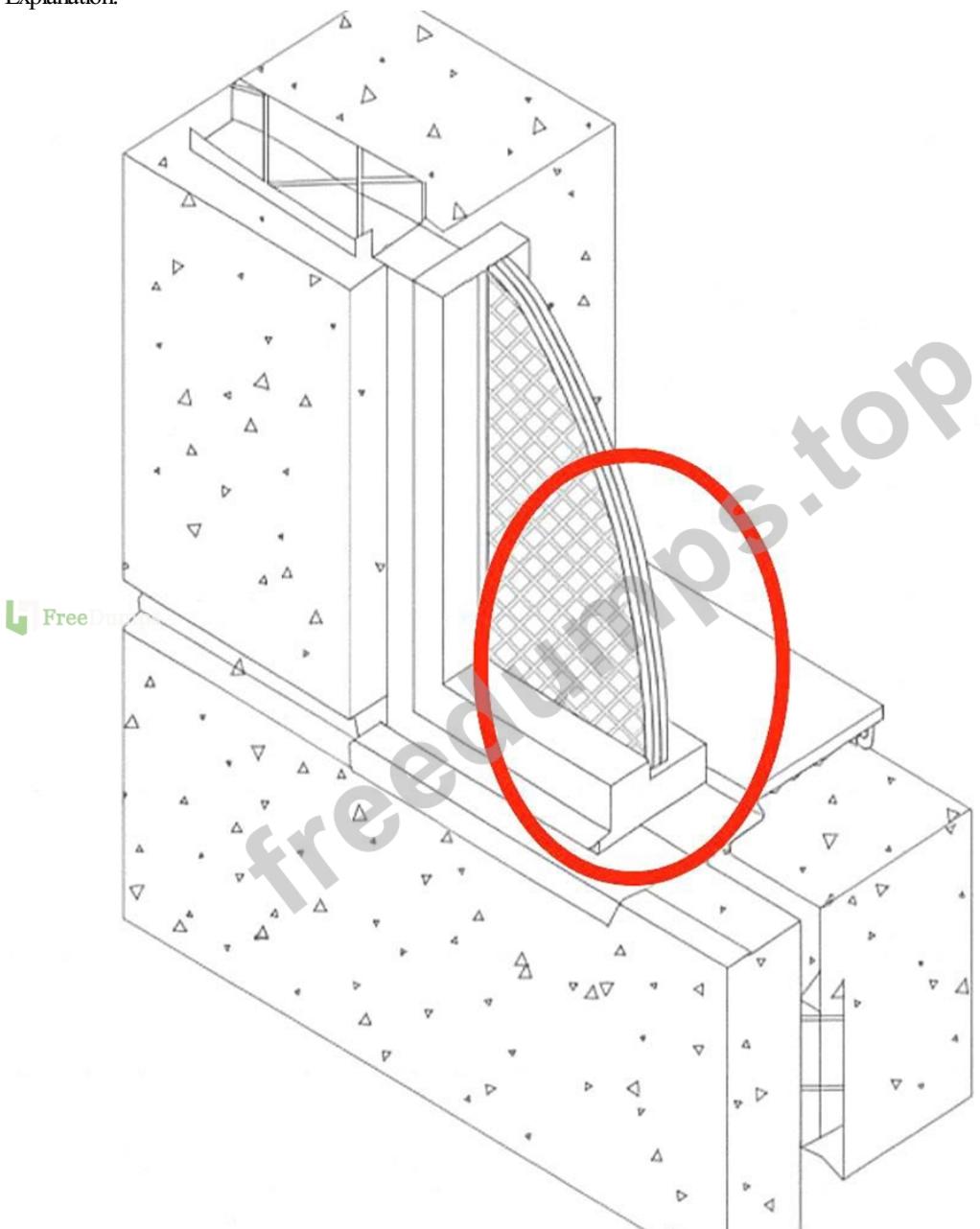


Answer:

Explanation:



Explanation:



1. Reviewing the Construction Estimate

The listed components are:

- * Architectural Precast Panels - exterior cladding
- * Aluminum Storefront Windows - glazing system
- * Prefinished Metal Sill Flashing - weatherproofing at sill
- * Sealant - for joints between components

No line item appears for thermal insulation.

2. Identifying the Missing Element in the Axonometric Detail

Looking at the drawing:

- * The detail shows precast concrete panel cladding outside.
- * A storefront frame and glazing in the opening.
- * There is a hatched layer behind the precast in the stud cavity area - this represents continuous insulation.
- * The insulation is a required component for the wall to meet energy code R-value/U-factor requirements (per IECC or ASHRAE 90.1).

3. Why This is Critical

- * Insulation is essential for thermal performance, occupant comfort, and energy efficiency.
- * Omitting it from the estimate could cause:
 - * Noncompliance with code.
 - * Incomplete cost budgeting.
 - * Change orders during construction.
- * In ARE 5.0 PDD, architects must check that all components of an assembly are represented in the cost estimate.

4. References

- * NCARB ARE 5.0 Handbook - PDD Content Area 3: Integration of Building Materials & Systems
- * Architectural Graphic Standards - Precast wall sections with insulation
- * Building Construction Illustrated (Ching) - Continuous insulation in wall assemblies
- * Energy Code References: IECC Table C402.1.3 for minimum continuous insulation requirements in exterior walls

NEW QUESTION # 21

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With the development of IT technology in recent, many people choose to study IT technology which lead to lots of people join the IT industry. So, the competition is in fierce in IT industry. With working in IT industry and having IT dream, you don't expect to be caught up by other people which need you to improve your IT skills to prove your ability. How do you want to prove your ability? More and more people prove themselves by taking IT certification exam. Do you want to get the certificate? You must first register NCARB PDD Exam. PDD test is the important exam in NCARB certification exams which is well recognized.

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