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## NCARB Project-Planning-Design Exam Syllabus Topics:

Topic	Details
Topic 1	<ul style="list-style-type: none"><li>Codes &amp; Regulations: This section of the exam measures the skills of project architects and focuses on applying zoning laws, environmental rules, and building codes during the planning stage. Candidates are tested on how to integrate multiple regulatory requirements into a project's design effectively.</li></ul>
Topic 2	<ul style="list-style-type: none"><li>Building Systems, Materials, &amp; Assemblies: This section of the exam measures skills of architectural designers and covers the understanding of building systems such as mechanical, electrical, and plumbing, along with structural and specialty systems. It also involves selecting appropriate materials and assemblies to align with program needs, budgets, and regulations.</li></ul>
Topic 3	<ul style="list-style-type: none"><li>Project Integration of Program &amp; Systems: This section of the exam measures skills of project architects and focuses on integrating decisions about environmental conditions, codes, and building systems into one cohesive project design. It highlights how to configure the building and incorporate both program requirements and contextual conditions in a unified design approach.</li></ul>
Topic 4	<ul style="list-style-type: none"><li>Project Costs &amp; Budgeting: This section of the exam measures skills of architectural designers and assesses the ability to evaluate design alternatives based on program goals, perform cost evaluations, and manage cost considerations throughout the design process.</li></ul>

Topic 5	<ul style="list-style-type: none"> <li>Environmental Conditions &amp; Context: This section of the exam measures skills of architectural designers and covers how to use site analysis information to determine building placement and environmental planning decisions. It emphasizes applying sustainable principles and considering the neighborhood context to guide project design.</li> </ul>
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In fact, in real life, we often use performance of high and low to measure a person's level of high or low, when we choose to find a good job, there is important to get the Project-Planning-Design certification as you can. Our product is elaborately composed with major questions and answers. We are choosing the key from past materials to finish our Project-Planning-Design Guide question. It only takes you 20 hours to 30 hours to do the practice. After your effective practice, you can master the examination point from the Project-Planning-Design test question. Then, you will have enough confidence to pass it.

### NCARB ARE 5.0 Project Planning & Design (PPD) Sample Questions (Q43-Q48):

#### NEW QUESTION # 43

TABLE 508.4  
REQUIRED SEPARATION OF OCCUPANCIES (HOURS)<sup>1</sup>

OCCUPANCY	A, E		I-1 <sup>2</sup> , I-3, I-4		I-2		R <sup>3</sup>		F-2, S-2 <sup>4</sup> , U		B <sup>5</sup> , F-1, M-5-1		H-1		H-2		H-3, H-4		H-5	
	S	NS	S	NS	S	NS	S	NS	S	NS	S	NS	S	NS	S	NS	S	NS	S	NS
A, E	N	N	1	2	2	NP	1	2	N	1	1	2	NP	NP	3	4	2	3	2	NP
I-1 <sup>2</sup> , I-3, I-4	1	2	N	N	2	NP	1	NP	1	2	2	NP	NP	NP	3	NP	2	NP	2	NP
I-2	2	NP	2	NP	N	N	2	NP	2	NP	2	NP	NP	NP	3	NP	2	NP	2	NP
R <sup>3</sup>	1	2	1	NP	2	NP	N	2	NP	2	1	2	NP	NP	3	NP	2	NP	2	NP
F-2, S-2 <sup>4</sup> , U	N	1	1	2	2	NP	1	NP	N	N	1	2	NP	NP	3	4	2	3	2	NP
B <sup>5</sup> , F-1, M-5-1	1	2	1	2	NP	1	2	1	2	N	N	NP	NP	NP	2	3	1	2	1	NP
H-1	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP	NP
H-2	3	4	3	NP	3	NP	3	NP	3	4	2	3	NP	NP	N	NP	1	NP	1	NP
H-3, H-4	2	3	2	NP	2	NP	2	NP	2	3	1	2	NP	NP	1	NP	1 <sup>6</sup>	NP	1	NP
H-5	2	NP	2	NP	2	NP	2	NP	2	NP	1	NP	NP	NP	1	NP	1	NP	N	NP

S = Buildings equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.

NS = Buildings not equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.1.

N = No separation requirement.

NP = Not Provided.

a. See Section 429.

b. The required separation from areas used only for private or pleasure vehicles shall be reduced by 1 hour but not to less than 1 hour.

c. See Sections 406.3.2 and 406.6.4.

d. Separation is not required between occupancies of the same classification.

e. See Section 422.2 for mandatory core requirements.

f. Occupancy separations that serve to delineate a building or portion of a building in accordance with Section 903.3.10 and Table 903.3.10 in accordance with Section 903.3.10.1.

A new, sprinklered, mid-rise office building of Type II-A construction has a ground-level restaurant and offices above. The restaurant has an A-2 occupancy and the offices have a B occupancy. The architect needs to provide fire separation between the two occupancy types and select the most cost-efficient floor/ceiling assembly option.

Which one of the following assemblies is most appropriate?

- A. 1-hour-rated assembly with 2 x 10 wood joists
- B. 2-hour-rated assembly with lightweight precast concrete
- C. 1-hour-rated assembly with open web steel joists @ 24" o.c.

**Answer: C**

Explanation:

Comprehensive and Detailed Explanation From Exact Extract:

According to IBC Table 508.4, with sprinklers installed throughout (S), a 1-hour fire separation is required between A-2 and B occupancies in Type II-A construction.

Open web steel joists (C) can be used in 1-hour-rated assemblies, providing cost efficiency and structural flexibility.

Wood joists (A) might not meet Type II-A non-combustible requirements.

2-hour-rated precast concrete (B) is more costly than needed per code.

Thus, option C balances code compliance and cost.

References:

IBC Table 508.4

ARE 5.0 PPD - Codes and Regulations, Fire Separation

The Architect's Handbook of Professional Practice, 15th Edition - Fire-Resistive Construction

#### NEW QUESTION # 44

An elementary school requires a renovation, selective demolition, and a major addition in order to accommodate a growing student population. An architectural firm has prepared schematic design plans incorporating the school's increased programmatic needs, including an enlarged library, cafeteria, and gymnasium; a secure courtyard; and additional space for administrative offices and classrooms. The main entrance was relocated in order to improve the traffic and pedestrian flow at the beginning and end of the school day, and additional parking was provided to comply with current zoning requirements.

The existing single-story masonry building was built in 1950. Two small additions were built later: the north addition will be kept and repurposed, but the south addition will be demolished. The building contains asbestos and lead in roof soffits, floor tiles, pipe insulation, and window paint. All existing mechanical systems need to be replaced; new systems have not been selected.

Considerations for the renovation include:

- \* The relocated front entrance must be easily recognizable, highly visible, and secure.
- \* Interior and exterior materials need to be durable and maintainable in order to withstand frequent student abuse, but also economical due to strict budget limitations.
- \* Good indoor air quality and increased energy efficiency are priorities for the selection of mechanical equipment.

After completion, the entire school should look uniform, without a distinctive difference between the existing building and new addition.

Building information:

- \* Construction Type is II-B.

The following resources are available for your reference:

- \* Existing Plans, including site and floor plans
- \* Proposed Plans, including site and floor plans
- \* Cost Analysis
- \* Zoning Ordinance Excerpts, for off-street parking requirements
- \* IBC Excerpts, showing relevant code sections
- \* ADA Standards Excerpts, showing relevant sections from the ADA Standards for Accessible Design

- A. Kindergarten Classrooms
- B. 5th Grade Classrooms
- C. 1st Grade Classrooms
- D. 3rd Grade Classrooms

#### Answer: A

Explanation:

Comprehensive and Detailed Explanation From Exact Extract:

According to IBC and egress requirements, kindergarten classrooms often have more stringent egress requirements than higher grades due to the younger occupant population, who require faster and easier exit options in emergencies. This often translates into requirements for additional or wider exit doors to ensure safe, quick evacuation.

Older grades (1st, 3rd, 5th) typically have less restrictive egress door requirements.

Code mandates consider occupant age and ability to evacuate efficiently.

Thus, kindergarten classrooms should be flagged for additional doors if not already provided.

References:

IBC Chapter 10 - Means of Egress, Occupant Load and Egress Requirements ADA Standards for Accessible Design ARE 5.0 PPD - Codes and Regulations

#### NEW QUESTION # 45

Which plumbing criteria will offer a flexible design for a 15-story office building?

- A. Separating plumbing and mechanical chases
- B. Locating restrooms in a central core
- C. Stacking restrooms outside a central core
- D. Utilizing a two-pipe hydronic system

## Answer: B

Explanation:

Comprehensive and Detailed Explanation From Exact Extract:

Locating restrooms in a central core is a common strategy in high-rise office buildings to centralize plumbing stacks, reduce pipe runs, and improve flexibility for tenant fit-outs. This allows easier plumbing access and efficient vertical stacking of plumbing fixtures. Stacking restrooms outside the core (A) increases plumbing complexity and reduces space efficiency.

Separating plumbing and mechanical chases (C) can complicate coordination.

A two-pipe hydronic system (D) relates to heating/cooling, not plumbing fixture layout.

References:

ARE 5.0 PPD - Building Systems and Assemblies, Plumbing Systems

The Architect's Handbook of Professional Practice, 15th Edition - High-Rise Building Design

## NEW QUESTION # 46

An architect has just received client approval of the Schematic Design documents for a three-story, outpatient medical clinic. The clinic is located within a mixed-use development governed by a City-approved Planned Development (PD) document. The medical clinic design utilizes standardized departmental layouts and includes outpatient clinics, as well as treatment spaces, administrative spaces and public/lobby spaces.

The site needs to accommodate four different vehicular traffic flows: patient traffic, staff traffic, service and delivery traffic, and emergency services traffic. In addition, a pedestrian plaza must connect to the mixed-use development sidewalks. The plaza must provide space for bicycle parking and will serve as the future bus stop.

The site design addresses several challenges related to building orientation. The southeast facade, with excellent visibility from the highway, is the location of all service equipment. The building entrance faces northwest, convenient to the parking but not visible from the highway.

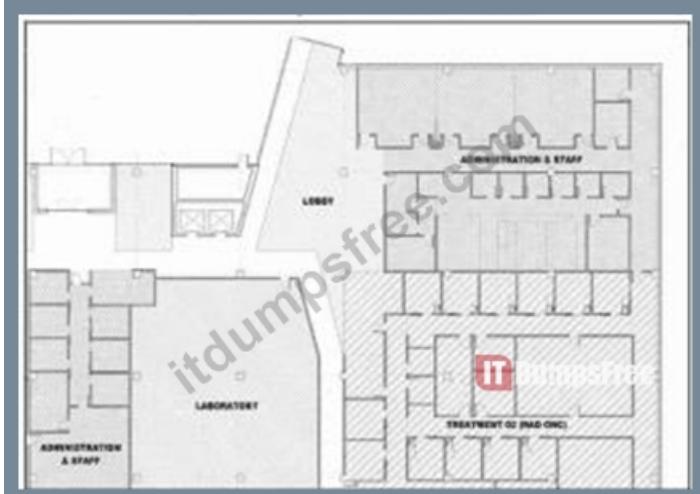
The client believes future patient volumes will outgrow the clinic. The PD document allows for a planned Phase 2 development on the adjacent vacant site to the southwest. Phase 2 would include a second building (2 story, 80,000 BGSF) and/or a parking deck.

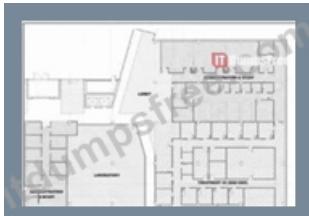
Other considerations for the project include:

- \* Protected tree requirements are defined in the PD document.
- \* Easy pedestrian access must be provided from Sycamore Boulevard.
- \* All required parking for the clinic must be accommodated on site.
- \* Programmed area includes 109,450 Departmental Gross Square Feet (DGSF) / 130,184 Building Gross Square Feet (BGSF).
- \* Exterior material percentages are dictated by the PD document and shall not exceed specific percentages for Primary and Secondary Finishes.
- \* All service equipment needs to be screened; see PD document for restrictions.
- \* Signage opportunities are important to the client.
- \* Acoustical privacy is a concern of the healthcare system.

The following resources are available for your reference:

- \* Drawings, including a perspective, plans, and exterior elevations
- \* Building Program, including client's departmental program and detailed program for Treatment 01 (Infusion)
- \* Exterior Material Cost Comparisons
- \* Planned Development Document
- \* IBC Excerpts, showing relevant code sections
- \* ADA Excerpts, showing relevant sections from the ADA Standards for Accessible Design





Which of the following design solutions best addresses the client's concerns related to building orientation, vehicular circulation, and future expansion?

- A. Locate all vehicular traffic access on one side of the site to simplify circulation and position the main entrance on the southeast facade facing the highway for maximum visibility.
- B. Cluster patient and emergency vehicle access on the northwest facade with the main entrance adjacent, position staff and service access on the northeast, and minimize the pedestrian plaza to maximize parking area.
- C. Separate vehicular traffic by type with dedicated access points, place the main entrance facing northwest toward parking for convenient access, and locate service equipment on the southeast facade screened as per PD requirements.
- D. Position the main entrance on the northeast facade to align with future Phase 2 development, route all vehicular traffic through a centralized loop road, and locate service equipment behind the building without screening to reduce costs.

**Answer: C**

Explanation:

Comprehensive and Detailed Explanation From Exact Extract:

The design must balance client priorities, regulatory requirements, and site conditions:

- \* **Vehicular Circulation:** Separating traffic flows by function reduces conflicts and improves safety- patients, staff, deliveries, and emergency vehicles each require distinct circulation paths.
- \* **Building Orientation:** The main entrance facing northwest towards parking prioritizes user convenience, even if this orientation has less highway visibility. The southeast facade, visible from the highway, is dedicated to service equipment screened per PD document restrictions.
- \* **Pedestrian Plaza:** Providing a pedestrian plaza connected to mixed-use development sidewalks, with bicycle parking and bus stop, aligns with site accessibility and transit integration goals.
- \* **Future Expansion:** Positioning the site elements to accommodate Phase 2 on the adjacent southwest vacant site facilitates growth without major disruption.
- \* **Screening and Material Use:** Service equipment screening and adherence to PD exterior material percentages maintain design compliance.
- \* **Acoustical Privacy:** The layout supports departmental adjacency and separation for privacy, crucial in healthcare design.
- \* **Option B best addresses these concerns and reflects the project's functional, regulatory, and contextual needs as outlined in NCARB ARE 5.0 Project Integration and Site Planning content.**

References:

ARE 5.0 Project Planning & Design Content Outline: Project Integration of Program and Systems - Site Planning and Circulation  
City-approved Planned Development Document ADA Standards for Accessible Design The Architect's Handbook of Professional Practice, 15th Edition, Chapters 6 and 7 on Site Design and Program Integration

#### NEW QUESTION # 47

A proposed six-story commercial building will have a basement level with finished floor 20'-0" below grade.

The building site is located less than 1 mile from the coastline. A site survey indicates that the average site elevation is 5'-0" above sea level.

Based on the site-specific conditions, which four issues should the architect address in the design? Check the four that apply.

- A. Spread footings
- B. Hydrostatic pressure on basement walls
- C. Potential corrosion of exterior finishes due to salt in water vapor
- D. Radiant flooring in the basement slab
- E. Water table height
- F. Dewatering during construction

**Answer: B,C,E,F**

Explanation:

Comprehensive and Detailed Explanation:

Dewatering during construction (A): The deep excavation (20' below grade) near sea level likely intersects the water table, necessitating dewatering to keep the site dry during construction.

Water table height (B): Proximity to the coast raises the water table, which affects foundation and waterproofing design.

Potential corrosion due to salt (D): Salt in water vapor and marine air can corrode metal exterior finishes and reinforcements; materials and coatings must be selected accordingly.

Hydrostatic pressure on basement walls (E): High water tables create significant lateral water pressure requiring robust waterproofing and structural resistance.

Spread footings (C) may or may not be suitable depending on soil but are not specific to coastal or basement conditions.

Radiant flooring (F) is unrelated to site conditions and more a mechanical choice.

References:

ARE 5.0 PPD - Environmental Conditions and Context, Site and Foundation Design The Architect's Handbook of Professional Practice, 15th Edition - Coastal and Marine Environment Design

## NEW QUESTION # 48

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